

HISTORIC AND DESIGN REVIEW COMMISSION

May 03, 2023

HDRC CASE NO: 2023-143
ADDRESS: 1123 SE MILITARY DR
LEGAL DESCRIPTION: NCB 7676 BLK LOT 38 (MISSION MERCADO)
ZONING: C-2, H
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: Mark Walle/Dutch Bros
OWNER: Greg Vasquez/RBY 3 PROPERTY MANAGEMENT LLC
TYPE OF WORK: Construction of a commercial structure and signage
APPLICATION RECEIVED: April 13, 2023
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a commercial structure to feature one story in height to be located in an existing surface parking lot.
2. Install signage throughout the site and on the building's facades. The applicant has noted a pylon sign in the application documents. This sign is prohibited by code within a local historic district and cannot be included in this request.

APPLICABLE CITATIONS:

Mission Historic District Design Manual, Section 3, Guidelines for New Construction

3. Commercial Construction (Commercial, Institutional, and Multifamily projects consisting of 8 units or more)

A. BUILDING ORIENTATION AND SITE DEVELOPMENT

i. Division of structures — Multifamily residential or mixed used developments consisting of multiple buildings should be divided, scaled, and arranged in a manner that is respectful of the surrounding context. For instance, sites that are located adjacent to single-family residential areas should incorporate multiple, smaller buildings instead of larger buildings that are out of scale with the surrounding context. A site analysis of the surrounding context should be included in schematic design development. Site constraints or other limitations may be demonstrated and submitted as part of the application to explain the logistical and programmatic requirements for a single structure.

ii. Site configuration — Multifamily residential or mixed used developments consisting of multiple buildings should be organized in a campus-like configuration with primary facades that address external views from the public right-of-way as well as create comfortable interior spaces such as courtyards and circulation spaces.

iii. Building spacing — Buildings should be arranged to include interstitial spaces between structures that maintain a comfortable pedestrian scale. Single story buildings should be sited to include a minimum separation of 10 feet between buildings. Multi-story buildings should maintain a minimum separation of 50% of the adjacent building heights. For spaces between two buildings of differing heights, 50% of the average of the two heights shall be used.

iv. Transitions — Sites that are located adjacent to single-family residential areas or context areas consisting of predominantly single story, contributing buildings should utilize transitions in building scale and height along the edge conditions of the site to improve compatibility with the surrounding context. New buildings sited at these edge conditions should not exceed the height of adjacent contributing buildings by more than 40%. The width of the primary, street-facing façade of new buildings should not exceed the width of adjacent contributing buildings by more than 60%.

v. Setbacks — In general, new buildings should follow the established pattern of the block in terms of front building setback where there is a strong historic context (adjacent contributing buildings). On corridors where building setbacks vary or are not well-defined by existing contributing buildings, buildings should maintain a minimum front setback of 15' for properties north of SE Military and a maximum front setback of 35' for properties south of SE Military.

vi. Location of parking areas along corridors — Rear / side parking is encouraged north of SE Military Drive. Front parking with landscape buffers are encouraged south of SE Military Drive.

vii. *Vehicular access and driveways along corridors* — In general, driveway widths should not exceed 24'. Shared driveways are allowed and can have a maximum width of 30'. Shared driveways are encouraged to incorporate a pedestrian island. In order to accommodate functions requiring access by heavy trucks (Min SU 30), request for driveways wider than what is recommended by the guidelines should be coordinated with TCI for an alternative to be considered by the HDRC.

B. BUILDING MASS, SCALE AND FORM

i. *Monolithic elements and fenestrations* — Historic masonry construction in the Missions lack numerous voids in the wall plane resulting in a monolithic aesthetic that is appropriate to reference in new construction. Wall planes and fenestration patterns should be organized to yield facades that appear monolithic and enduring while still allowing for visual interest through breaks in scale and pattern. Traditional punched window openings with uniform spacing throughout the building facade is discouraged. Glass curtain walls or uninterrupted expanses of glass may also be grouped and used to create uniform building mass as a contemporary alternative to the historic construction type.

ii. *Maximum facade length* — Notwithstanding the provisions of RIO, commercial structures in the Mission Historic District should not include uninterrupted wall planes of more than 50 feet in length. Building facades may utilize an offset, substantial change in materials, or change in building height in order to articulate individual wall planes.

iii. *Height* — Notwithstanding the provisions of RIO, commercial structures in the Mission Historic District should be a maximum of three stories in height. Sites located within a Mission Protection Overlay District may be subject to more restrictive height regulations. Height variability between buildings within complexes is encouraged. Additional height may be considered on a case by case basis depending on historic structures of comparable height in the immediate vicinity.

C. ROOF FORM

i. *Primary roof forms* — A flat roof with a parapet wall is recommended as a primary roof form for all commercial buildings. Parapets may vary in height to articulate individual wall planes or programmatic elements such as entrances. Complex roof designs that integrate multiple roof forms and types are strongly discouraged.

ii. *Secondary roof forms* — Secondary roofs should utilize traditional forms such as a hip or gable and should establish a uniform language that is subordinate to the primary roof form. Contemporary shed roofs may be considered on a case by case basis as a secondary roof form based on the design merit of the overall proposal and the context of the site. Conjectural forms such as domes, cupolas, or turrets that convey a false sense of history should be avoided.

iii. *Ridge heights* — The ridgelines of roofs with multiple gables or similar roof forms should be uniform in height; cross gables should intersect at the primary ridgeline unless established as a uniform secondary roof form.

D. MATERIALS

i. *Traditional materials* — Predominant façade materials should be those that are durable, high-quality, and vernacular to San Antonio such as regionally-sourced stone, wood, and stucco. Artificial or composite materials are discouraged, especially on primary facades or as a predominate exterior cladding material. The use of traditional materials is also encouraged for durability at the ground level and in site features such as planters and walls.

ii. *Traditional stucco* — Stucco, when correctly detailed, is a historically and aesthetically appropriate material selection within the Mission Historic District. Artificial or imitation stucco, such as EIFS or stucco-finish composition panels should be avoided. Applied stucco should be done by hand and feature traditional finishes. Control joints should be limited to locations where there is a change in materials or change in wall plane to create a continuous, monolithic appearance.

iii. *Primary materials* — The use of traditional materials that are characteristic of the Missions is strongly encouraged throughout the historic district as primary materials on all building facades. For all new buildings, a minimum of 75% of the exterior facades should consist of these materials. Glass curtain walls or uninterrupted expanses of glass may be counted toward the minimum requirement.

iv. *Secondary materials* — Non-traditional materials, such as metal, tile, or composition siding may be incorporated into a building façade as a secondary or accent material. For all new buildings, a maximum of 25% of the exterior facades should consist of these nontraditional materials.

v. *Visual interest* — A variety and well-proportioned combination of exterior building materials, textures, and colors should be used to create visual interest and avoid monotony. No single material or color should excessively dominate a building or multiple buildings within a complex unless the approved architectural concept, theme, or idea depends upon such uniformity. While a variety is encouraged, overly-complex material palettes that combine materials that are not traditionally used together is discouraged.

vi. Decorative patterns and color — The use of decorative patterns and color is encouraged any may be conveyed through a variety of contemporary means such as tile, cast stone, and repetition in architectural ornamentation. In general, the use of natural colors and matte finishes is encouraged; vibrant colors which reflect the historic context of the area are encouraged as accents.

vii. Massing and structural elements — The use of materials and textures should bear a direct relationship to the building's organization, massing, and structural elements. Structural bays should be articulated wherever possible through material selection.

E. FACADE ARRANGEMENT AND ARCHITECTURAL DETAILS

i. Human scaled elements — Porches, balconies, and additional human-scaled elements should be integrated wherever possible.

ii. Entrances — The primary entrance to a commercial and mixed used structures, such as a lobby, should be clearly defined by an architectural element or design gesture. Entrances may be recessed with a canopy, defined by an architectural element such as a prominent trim piece or door surround, or projecting mass to engage the pedestrian streetscape.

iii. Windows — Windows should be recessed into the façade by a minimum of 2 inches and should feature profiles that are found historically within the immediate vicinity. Wood or aluminum clad wood windows are recommended.

iv. Architectural elements — Façade designs should be inspired by the San Antonio Missions and regional architectural styles. Contemporary interpretations of buttresses, colonnades, arcades, and similar architectural features associated with the Missions are encouraged. Historicized elements or ornamentation with false historical appearances should be avoided.

v. Corporate architecture and branding — Formula businesses, retail chains, and franchises are encouraged to seek creative and responsive alternatives to corporate architecture that respect the historic context of the Mission Historic District. The use of corporate image materials, colors, and designs should be significantly minimized or eliminated based on proximity to the Missions or location on a primary corridor.

Mission Historic District Design Manual, Guidelines for Signage

A. GENERAL

i. Provision — Signage in the Mission Historic District should adhere to the Historic Design Guidelines unless amended by the following provisions for signage in this section of the Mission Manual.

ii. Sign types — Use sign types that are appropriate to the character and context of the area principally along the Mission Historic District Primary Road Corridors. Sign types that are not listed as a preferred type in the table below will be considered on a case by case basis.

B. PAINTED SIGNS

i. Paint Colors — Brightly painted buildings are acceptable within the historic district in accordance with common cultural traditions but must be approved on a case by case basis. Provide the HDRC with a description of the design concept, drawings of the proposed painting, and color samples. Painting should express the historic district's regional cultural theme. Brightly painted buildings must have surfaces such as masonry or stucco capable of accommodating heavy layering of paint over time. In general, buildings with wood exteriors are not considered appropriate for heavy and repeated commercial painting.

ii. Masonry Buildings — Historic masonry buildings of brick or stone that are currently unpainted should not be painted. Signage can be painted onto masonry buildings that have been previously painted.

iii. Lettering — Painted content including lettering and graphics may be included in the overall painting scheme. The area of lettering and graphics should comply with the allowable size standards for wall mounted signs.

iv. Murals — Painted murals on the blank side walls of existing buildings are generally acceptable as a form of public art. Murals are similar to painted masonry signs and are a means of enlivening the streetscape. Painted buildings, signage, and murals should be painted by professional artists experienced in mural design and execution. Masonry paint specifically made for the building surfaces and exterior conditions should be used. Signage and branding within murals will contribute to the overall signage square footage.

v. Painted Window Signs — Painted window signs are acceptable within the historic district in accordance with common cultural and community traditions. Painted window signs should relate to the primary historic structure and/or existing branding in their color and art style. Painted window signs may include the business name, artful depictions of products and services, slogan branding, and/or seasonal decor. Painted window signs should be well maintained and reapplied as necessary. Signage and branding within windows will contribute to the overall signage square footage.

C. FREESTANDING SIGNS

- i. Artistic Signs* — Consider using smaller signs, artistic signs, and signs that add to the architectural character of the building they serve. Exceptions to allowed materials, size, lighting, and mounting mechanism noted in this section of the Mission Manual may be considered based on the merit of the design of the artistic sign.
- ii. Post-and-panel and Flag-Mounted Signs* — Post and-panel and flag-mounted signs are often appropriate for businesses with front lawns or landscape buffers between streetscapes and pedestrian walkways. These types of freestanding signs should feature wood posts and should be distinguished from generic metal pylon signs. Single-post signs should be displayed in a flagmount configuration and should be distinguished from centered pole signs. Both sides of these types of signs will contribute to the overall square footage of signage allotted per property.
- iii. Monument Signs* — Monument signage should have a horizontal orientation to reduce streetscape clutter; although vertical orientations are appropriate within scale to the adjacent building or development. Monumental signs are typically constructed with a base and a signage area attached or suspended perpendicular to base shafts or supports. The base should be constructed or faced with regionally-sourced sandstone or limestone of different shades and colors. The signage area may be fabricated in wood or metal. Lettering may be painted, carved or applied. Do not use suburban-style backlit monument signs or electronic messaging signs within historic contexts that are not historically found in San Antonio's historic districts.
- iv. Monument Sign Area* — For single tenant monument signs, no single sign shall exceed 50 square feet in total area (including structural components of the sign), both sides counted. For example, a single tenant monument sign may be five feet tall and five feet wide. A wider monument sign would require a reduction in overall height. Multi-tenant signs shall not exceed 80 square feet in total area using the same standards above. (see Figure 5.1 and 5.2)
- v. Height* — Freestanding signs should accommodate pedestrians in their height. Sign heights are limited by their types in the table below. Sign height is measured from grade to the highest feature on the entire sign structure.

D. LIGHTING

- i. Indirect Lighting* — Use of indirect or concealed lighting of sign surfaces where the source of lighting is not visible to observers is encouraged. Light fixtures providing indirect lighting to a sign surface, awning, or portion of the building may be observable and should be of high quality, for exterior use and exposure, and considered part of the overall design of the sign and the facade.
- ii. Surface Wall-Neon Lighting* — Surface wall mounted, projecting, and window neon signs are appropriate for use particularly when of high quality and artistic design. Neon lighting, when used, should be incorporated as an integral architectural element of the building.
- iii. Lighting of Freestanding Signs* — Externally light freestanding signs using landscape lighting or gooseneck lighting.

Historic Design Guidelines, Chapter 6, Guidelines for Signage

1. General

A. GENERAL

- i. Number and size*—Each building will be allowed one major and two minor signs. Total requested signage should not exceed 50 square feet.
- ii. New signs*—Select the type of sign to be used based on evidence of historic signs or sign attachment parts along the building storefront where possible. Design signs to respect and respond to the character and/or period of the area in which they are being placed. Signs should identify the tenant without creating visual clutter or distracting from building features and historic districts.
- iii. Scale*—Design signage to be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of window and door openings. Scale signage (in terms of its height and width) to be subordinate to the overall building composition.

B. HISTORIC SIGNS

- i. Preservation*—Preserve historic signs, such as ghost signs or other signs characteristic of the building's or district's period of significance, whenever possible.
- ii. Maintenance*—Repair historic signs and replace historic parts in-kind when deteriorated beyond repair.

C. PLACEMENT AND INSTALLATION

- i. Location—Place signs where historically located and reuse sign attachment parts where they exist. Do not erect signs above the cornice line or uppermost portion of a facade wall, or where they will disfigure or conceal architectural details, window openings, doors, or other significant details.
- ii. Obstruction of historic features—Avoid obscuring historic building features such as cornices, gables, porches, balconies, or other decorative elements with new signs.
- iii. Damage—Avoid irreversible damage caused by installing a sign. For example, mount a sign to the mortar rather than the historic masonry.
- iv. Pedestrian orientation—Orient signs toward the sidewalk to maintain the pedestrian oriented nature of the historic districts.

D. DESIGN

- i. Inappropriate materials—Do not use plastic, fiberglass, highly reflective materials that will be difficult to read, or other synthetic materials not historically used in the district.
- ii. Appropriate materials—Construct signs of durable materials used for signs during the period of the building's construction, such as wood, wrought iron, steel, aluminum, and metal grill work.
- iii. Color—Limit the number of colors used on a sign to three. Select a dark background with light lettering to make signs more legible.
- iv. Typefaces—Select letter styles and sizes that complement the overall character of the building façade. Avoid hard-to-read or overly intricate styles.

E. LIGHTING

- i. Lighting sources—Use only indirect or bare-bulb sources that do not produce glare to illuminate signs. All illumination shall be steady and stationary. Internal illumination should not be used.
- ii. Neon lighting—Incorporate neon lighting as an integral architectural element or artwork appropriate to the site, if used.

F. PROHIBITED SIGNS

- i. An abbreviated list of the types of signs prohibited within San Antonio's historic districts and on historic landmarks is provided below. Refer to UDC Section 35- 612(j) and Chapter 28 of the Municipal Code for more detailed information on prohibited signs.
 - Billboards, junior billboards, portable signs, and advertising benches.
 - Pole signs.
 - Revolving signs or signs with a kinetic component.
 - Roof mounted signs, except in the case of a contributing sign.
 - Digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign.
 - Moored balloons or other floating signs that are tethered to the ground or to a structure.
 - Any sign which does not identify a business or service within the historic district or historic landmark.
 - Any non-contributing sign which is abandoned or damaged beyond 50 percent of its replacement value, including parts of old or unused signs.
 - Notwithstanding the above, signs designated as a contributing sign or structure by the historic preservation officer shall not be prohibited unless or until such designation is revoked.

G. MULTI-TENANT PROPERTIES

- i. Signage Plan—Develop a master signage plan or signage guidelines for the total building or property.
- ii. Directory signs—Group required signage in a single directory sign to minimize visual color and promote a unified appearance.

3. Projecting and Wall-Mounted Signs

A. GENERAL

- i. *Mounting devices*—Construct sign frames and panels that will be used to be attach signs to the wall of a building of wood, metal, or other durable materials appropriate to the building's period of construction.
- ii. *Structural supports*—Utilize sign hooks, expansion bolts, or through bolts with washers on the inside of the wall depending upon the weight and area of the sign, and the condition of the wall to which it is to be attached.

iii. Appropriate usage—Limit the use of projecting and wall-mounted signs to building forms that historically used these types of signs, most typically commercial storefronts. To a lesser degree, these signage types may also be appropriate in areas where residential building forms have been adapted for office or retail uses, if sized accordingly.

B. PROJECTING SIGNS

i. Placement—Mount projecting signs perpendicularly to a building or column while allowing eight feet of overhead clearance above public walkways.

ii. Public right-of-way—Limit the extension of projecting signs from the building facade into the public right-of-way for a maximum distance of eight feet or a distance equal to two-thirds the width of the abutting sidewalk, whichever distance is greater.

iii. Area—Projecting signs should be scaled appropriately in response to the building façade and number of tenants.

C. WALL-MOUNTED SIGNS

i. Area—Limit the aggregate area of all wall-mounted signs to twenty-five percent of a building facade.

ii. Projection—Limit the projection of wall-mounted signs to less than twelve inches from the building wall.

iii. Placement—Locate wall signs on existing signboards—the area above the storefront windows and below the second story windows—when available. Mount wall signs to align with others on the block if an existing signboard is not available.

iv. Channel letters—Avoid using internally-illuminated, wall-mounted channel letters for new signs unless historic precedent exists. Reverse channel letters may be permitted.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a commercial structure to feature one story in height to be located in an existing surface parking lot at 1123 SE Military, located within the Mission Historic District. The applicant is also requesting approval for signage as part of this request.
- b. EXISTING LOT – The existing lot is currently void of any structures. The site is currently used as a surface parking lot. Adjacent lots feature construction from the past thirty years featuring various site configurations, setbacks, massing and footprints.
- c. SETBACKS – The Mission Design Manual notes that in general, new buildings should follow the established pattern of the block in terms of front building setback where there is a strong historic context. This block of SE Military features structures featuring various setbacks. Generally, staff finds the proposed setback to be appropriate and consistent with existing setbacks found along the SE Military corridor.
- d. PARKING LOCATION – The applicant has proposed to utilize existing surface parking on site. This request does not feature the introduction of additional surface parking.
- e. VEHICULAR ACCESS – The applicant has proposed to utilize existing curb cuts at SE Military as well as within the site to provide vehicular access to the proposed new construction. On site, vehicles will circulate through a proposed drive through. Staff finds the proposed site configuration as it relates to vehicular access to be appropriate. Staff finds that landscaping buffers should be added to the greatest extent possible where vehicular circulation is adjacent to or parallel with pedestrian pathways.
- f. BUILDING MASS, SCALE, AND FORM – The applicant has proposed a building mass, scale and form that are consistent with the Mission Design Manual.
- g. ROOF FORM – The Mission Design Manual recommends a flat roof with a parapet wall as the primary roof form for all commercial buildings within the Mission Historic District. The applicant has proposed a flat roof with parapet walls. The proposed roof form is consistent with the Mission Design Manual regarding roof forms.
- h. MATERIALS – Per the submitted construction documents, the applicant has proposed materials that include stucco, fiber cement siding trim, stone veneer, stone window sills, metal fascia and roofing elements, pre-fabricated metal awnings and aluminum storefront systems. Generally, staff finds the proposed materials to be appropriate; however, staff finds that all stucco should feature a smooth finish, that fiber cement siding should feature a smooth finish, that all storefront systems should feature dark frames and that additional information be submitted to OHP staff for review and approval for the proposed metal façade panels.
- i. WINDOW/STOREFRONT MATERIALS – The applicant has noted the installation of aluminum storefront systems with an anodized finish. Staff finds the installation of aluminum windows and storefront systems to be appropriate; however, per the Mission Design Manual, all windows should be recessed into the façade by a minimum of two (2) inches.

- j. FAÇADE ARRANGEMENT & ARCHITECTURAL DETAILS – The applicant has proposed human scaled elements, entrances and architectural elements that are found historically within the Mission Historic District, and are consistent with the Mission Design Manual.
- k. DUMPSTER LOCATION – The applicant has proposed to construct a dumpster location to be located to the north of the proposed new construction. The applicant has proposed for the enclosure to feature a charcoal CMU wall with steel gates and CMU wall cap. The applicant has proposed the CMU wall feature a color and stack profile that staff finds to be appropriate for the site context.
- l. LANDSCAPING – The applicant has not provided a detailed landscaping plan at this time. Staff finds that a landscaping plan should be developed to be consistent with the Mission Design Manual. Additionally, staff finds that the proposed vehicular drive through should be buffered from the sidewalk at the right of way by landscaping beds.
- m. SIGNAGE – The applicant has proposed a number of signs on site that include monument signs, on-site directional signs and building signs. The applicant has noted a pylon sign in the application documents. This sign is prohibited by code within a local historic district.
- n. ALLOWABLE SIGNAGE – The Historic Design Guidelines and Unified Development Code recommends one major and two minor signs per application, not to exceed fifty (50) square feet total. The Commission may approve additional signage and square footage.
- o. WALL SIGNS (Text) – The applicant has proposed to install three (3) wall signs to read “Dutch Bros Coffee”. The proposed signs will feature internally illuminated cabinets and channel letters with acrylic faces. Each wall sign will feature approximately thirty (30) square feet in size. Per the Mission Design Manual and Historic Design Guidelines, signs should feature external or indirect lighting and should feature metal sign faces. Lighting should not result in internally glowing cabinets. Staff finds that the proposed signage should be amended to be consistent with the Guidelines and Mission Design Manual regarding design and lighting. Staff finds that signage should be reduced to one building façade.
- p. WALL SIGNS (Windmill) – The applicant has proposed to install three (3) cabinet signs in the shapes of windmills. The proposed signs will feature approximately eighteen (18) square feet each and will be internally illuminated with acrylic faces. Per the Mission Design Manual and Historic Design Guidelines, signs should feature external or indirect lighting and should feature metal sign faces. Lighting should not result in internally glowing cabinets. Staff finds that the proposed signage should be amended to be consistent with the Guidelines and Mission Design Manual regarding design and lighting. Staff finds that signage should be reduced to one building façade.
- q. MONUMENT SIGN – The applicant has proposed to install a monument sign to the immediate south of the proposed new construction. The proposed sign will feature an overall height of six (6) feet, an overall width of eight (8) feet, will feature a total size of ninety-six (96) square feet in size, including both sides, and will an aluminum sign face with back lit letters. The Mission Design Manual notes that monument signs should not exceed fifty (50) square feet in size, including both sides (five feet in width and height, per side), should not exceed five (5) feet in height and should be lit by indirect or concealed lighting. Staff finds the installation of the monument sign to be appropriate as there are no other proposed monument signs within this development; however, staff finds that the applicant should reduce the size of the proposed monument sign to be consistent with the Mission Design Manual.
- r. DIRECTIONAL/INCIDENTAL SIGNAGE – The applicant has proposed a number of both directional and incidental signage on site to include vehicular directional signage, menu boards and address numbers. Staff finds these signs to be appropriate.

RECOMMENDATION:

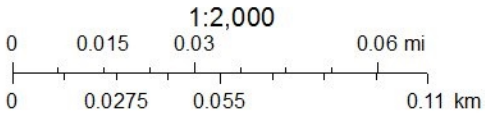
- 1. Staff recommends approval of item #1, the proposed new construction based on findings b through l with the following stipulations:
 - i. That landscaping buffers be added to the greatest extent possible where vehicular circulation is adjacent to or parallel with pedestrian pathways, as noted in finding e.
 - ii. That all stucco feature a smooth finish, that fiber cement siding feature a smooth finish, that all storefront systems feature dark frames and that additional information be submitted to OHP staff for review and approval for the proposed metal façade panels.
 - iii. That all windows be recessed at least two (2) inches within walls, as noted in finding i.

- iv. That a detailed landscaping plan be submitted for review and approval that is consistent with the Mission Historic District Design Manual as noted in finding 1.
- 2. Staff recommends approval of item #2, the installation of signage with the following stipulations. Revised signage documents should be provided to OHP staff prior to the issuance of a Certificate of Appropriateness for signage and permitting.
 - i. That the applicant reduce the proposed wall signage to feature signage on only one façade or reduce the overall size of signage to not exceed more than fifty (50) square feet, per façade. This would require amendments to signage as currently proposed for the right and front facades. All wall signage should feature metal sign faces with indirect or halo illumination.
 - ii. That the applicant reduce the overall size of the monument sign to feature a height of no more than five (5) feet and no more than twenty-five (25) square feet per side.

City of San Antonio One Stop



April 27, 2023





S.E. Military Drive Parkway Looking West in Front of Property

Pictured existing 5-foot sidewalk, water meter, irrigation boxes, fire hydrant, overhead 3-phase electric, overhead telecommunications line, adjacent Wing Daddy's / Subway, subject property southern parking bay



S.E. Military Drive Parkway Looking West in Front of Property

Second water meter in front of subject property



South Side of Subject Property Looking East

Existing parking lot light pole on property, bore location markings visible



South Side of Property Looking North

Existing parking lot light, parking stalls, surrounding strip retail in subdivision



South Side of Property Looking North
Existing parking stalls, bore markings



View from Northeast Corner of the Property
Existing curb inlet, parking stalls, fire lane



Existing Sanitary Sewer Manhole at Northeast Corner of the Property



View from the Northeast Corner of the Property
Existing parking stalls, fire lane and landscape island



View Along North Side of Property Landscape Island



View from Northwest Corner of Property



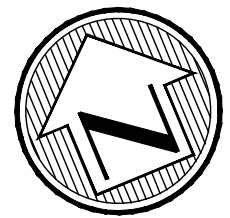
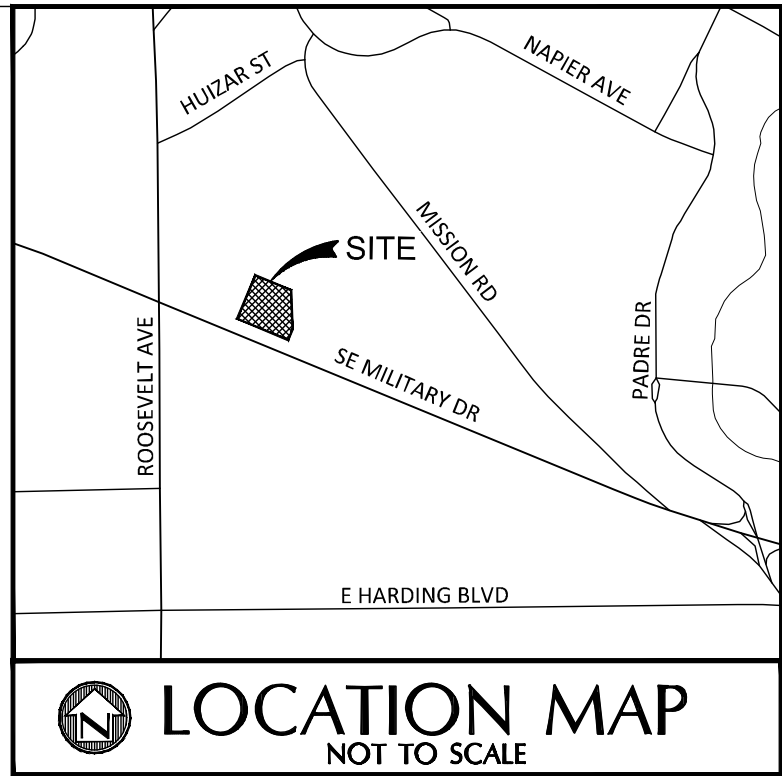
View from Northwest Corner of Property

EASEMENT KEYNOTES:

- 1 25' ACCESS EASEMENT
VOLUME 9569, PAGE 101 O.P.R.B.C.T.
- 2 16' SANITARY SEWER EASEMENT
VOLUME 9569, PAGE 101 O.P.R.B.C.T.
- 3 14' E.G.T.C.A. EASEMENT
VOLUME 9569, PAGE 101 O.P.R.B.C.T.

LEGEND:

- PROJECT LIMITS
- PROPERTY LINE
- SIDEWALK RAMP
- SIDEWALK TRENCH DRAIN
- NEW LIGHT CONCRETE PAVEMENT
- NEW HEAVY DUTY CONCRETE PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW CONCRETE RIPRAP / MISCELLANEOUS FLAT WORK



SCALE: 1"=20'

0 20 40

SIDEWALK IN PUBLIC RIGHT OF WAY NOTE:

ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.

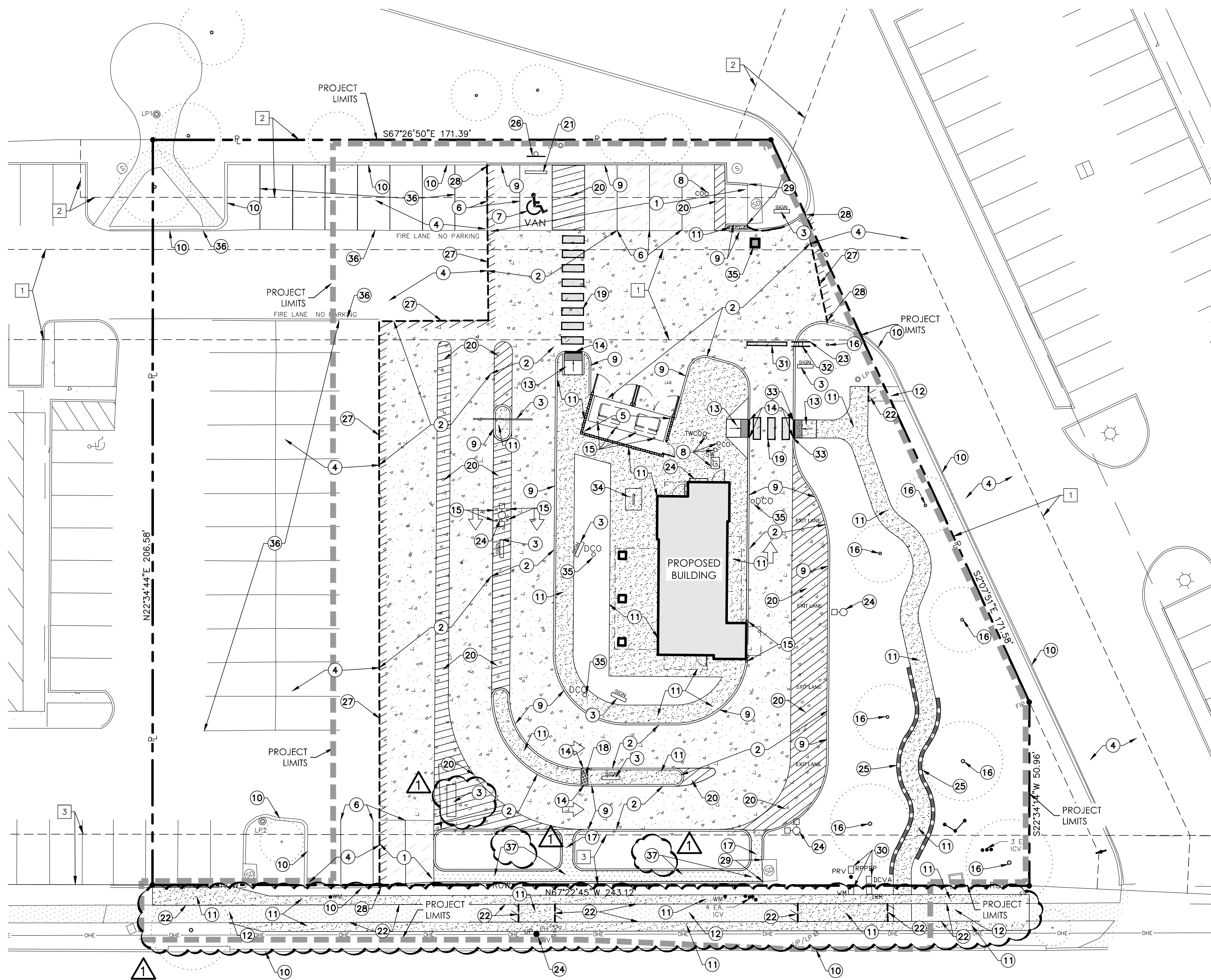
KEYNOTES:

- 1 NEW LIGHT DUTY (CONCRETE) PAVEMENT. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 2 NEW HEAVY DUTY (CONCRETE) PAVEMENT. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 3 NEW DUTCH BROS SIGNAGE. REFERENCE MEP AND ARCHITECTURAL PLANS.
- 4 EXISTING ASPHALT PAVEMENT.
- 5 NEW CONCRETE DUMPSTER PAD. REFERENCE STRUCTURAL PLANS.
- 6 NEW 4" WIDE SINGLE TRAFFIC YELLOW PAVEMENT STRIPE (TYPICAL).
- 7 NEW HANDICAP SYMBOL OF ACCESSIBILITY. REFERENCE DETAIL NOS. 1 AND 3, SHEET C7.1.
- 8 NEW SANITARY SEWER FACILITY; REFERENCE SHEET C5.0.
- 9 NEW CONCRETE CURB AT CONCRETE PAVEMENT. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 10 EXISTING CONCRETE CURB TO REMAIN.
- 11 NEW CONCRETE SIDEWALK. REFERENCE DETAIL NO. 2, SHEET C7.0.
- 12 EXISTING CONCRETE SIDEWALK/FLATWORK OR STRUCTURAL CONCRETE TO REMAIN.
- 13 NEW CONCRETE CURB RAMP. REFERENCE DETAIL NO. 7, SHEET C7.1.
- 14 NEW CONCRETE HEADER (FLUSH) CURB. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 15 NEW 6" STEEL POST BOLLARD. REFERENCE DETAIL NO. 6, SHEET C7.1.
- 16 EXISTING TREE TO REMAIN. REFERENCE LANDSCAPE PLANS FOR TREE PRESERVATION REQUIREMENTS.
- 17 NEW CONCRETE CHUTE. REFERENCE DETAIL NO. 5, SHEET C7.2.
- 18 NEW SIDEWALK DRAIN. REFERENCE DETAIL NO. 3, SHEET C7.0.
- 19 NEW CROSSWALK STRIPING, 6' X 18" YELLOW STRIPES PLACED AT 4' INTERVALS ON CENTER.
- 20 NEW "TRAFFIC" YELLOW DIAGONAL STRIPING. REFERENCE DETAIL NO. 2, SHEET C7.1.
- 21 NEW PRECAST CONCRETE WHEELSTOP (TYPICAL). REFERENCE DETAIL NO. 5, SHEET C7.1.
- 22 PROVIDE CONSTRUCTION JOINT AT CONNECTION TO EXISTING SIDEWALK. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 23 NEW "DO NOT ENTER" TRAFFIC SIGN (24"x24"). MOUNT SIGN BACK TO BACK WITH STOP SIGN.
- 24 NEW ELECTRIC FACILITY. REFERENCE SHEET C5.0.
- 25 NEW LANDSCAPE BLOCK. REFERENCE SHEET C4.0 (GRADES) AND LANDSCAPE PLANS.
- 26 HANDICAP PARKING SIGN. REFERENCE DETAIL NO. 4, SHEET C7.1.
- 27 NEW CONCRETE PAVEMENT TO ASPHALT PAVEMENT JUNCTURE. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 28 PROVIDE CONSTRUCTION JOINT AT CONNECTION TO EXISTING CONCRETE CURB. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 29 PROVIDE ISOLATION JOINT AT CONNECTION TO EXISTING INLET. REFERENCE DETAIL NO. 1, SHEET C7.0.
- 30 NEW WATER FACILITY. REFERENCE SHEET C5.0.
- 31 NEW 24" WIDE X 15' LONG TRAFFIC YELLOW PAVEMENT STRIPE FOR STOP BAR.
- 32 NEW 24" STOP SIGN WITH POLE HARDWARE AND FOOTING COMPLETE. REFERENCE DETAIL NO. 2, SHEET C7.2 (POLE AND FOOTING).
- 33 NEW END CURB TRANSITION. REFERENCE DETAIL NO. 8, SHEET C7.1.
- 34 NEW BICYCLE RACK (ONE LOOP). REFERENCE DETAIL NO. 9, SHEET C7.1.
- 35 NEW DRAINAGE FACILITY. REFERENCE SHEET C4.0.
- 36 EXISTING PARKING LOT / FIRE LANE STRIPING.
- 37 NEW CONCRETE CHUTE WITH TOE DOWN. REFERENCE DETAIL NO. 6, SHEET C7.2.



CONTRACTOR UTILITY WARNING!!!

THE EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. SOME OF THE LOCATIONS SHOWN WERE OBTAINED FROM RECORDS AND INFORMATION AVAILABLE AND ARE NOT GUARANTEED. UTILITIES NOT SHOWN ON THIS DRAWING MAY EXIST. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES AND CALL 811 FOR FIELD VERIFICATION AND IS RESPONSIBLE FOR ANY DAMAGES TO, AND FOR MAINTENANCE AND PROTECTION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY OF FIELD VERIFYING EACH UTILITY LOCATION AND COORDINATING AND NOTIFYING UTILITY COMPANIES AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO EXCAVATION. **CONTRACTOR SHALL CALL 811 (TEXAS811) FOR UTILITY LOCATES AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.**



S.E. MILITARY DRIVE
(LOOP 13, R.O.W. VARIES
120' MINIMUM)



- Engineers
- Surveyors
- Planners

Moy Tarin Ramirez Engineers, LLC

FIRM TBPELS NO. F-5297 (ENGINEERING) & 10131500 (SURVEYING)
12770 CIMARRON PATH, SUITE 100 TEL: (210) 698-5051
SAN ANTONIO, TEXAS 78249 FAX: (210) 698-5085

Project No: TX6402

Dutch Bros Coffee - New Freestanding Store
1123 SE Military Dr
San Antonio, TX 78214
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

ISSUED FOR PERMIT
REVIEW AND
CONSTRUCTION:
02.20.2023

REV: DATE: DESCRIPTION:
T 03/31/23 PERMIT COMMENTS

SHEET NAME:

KEYNOTE PLAN

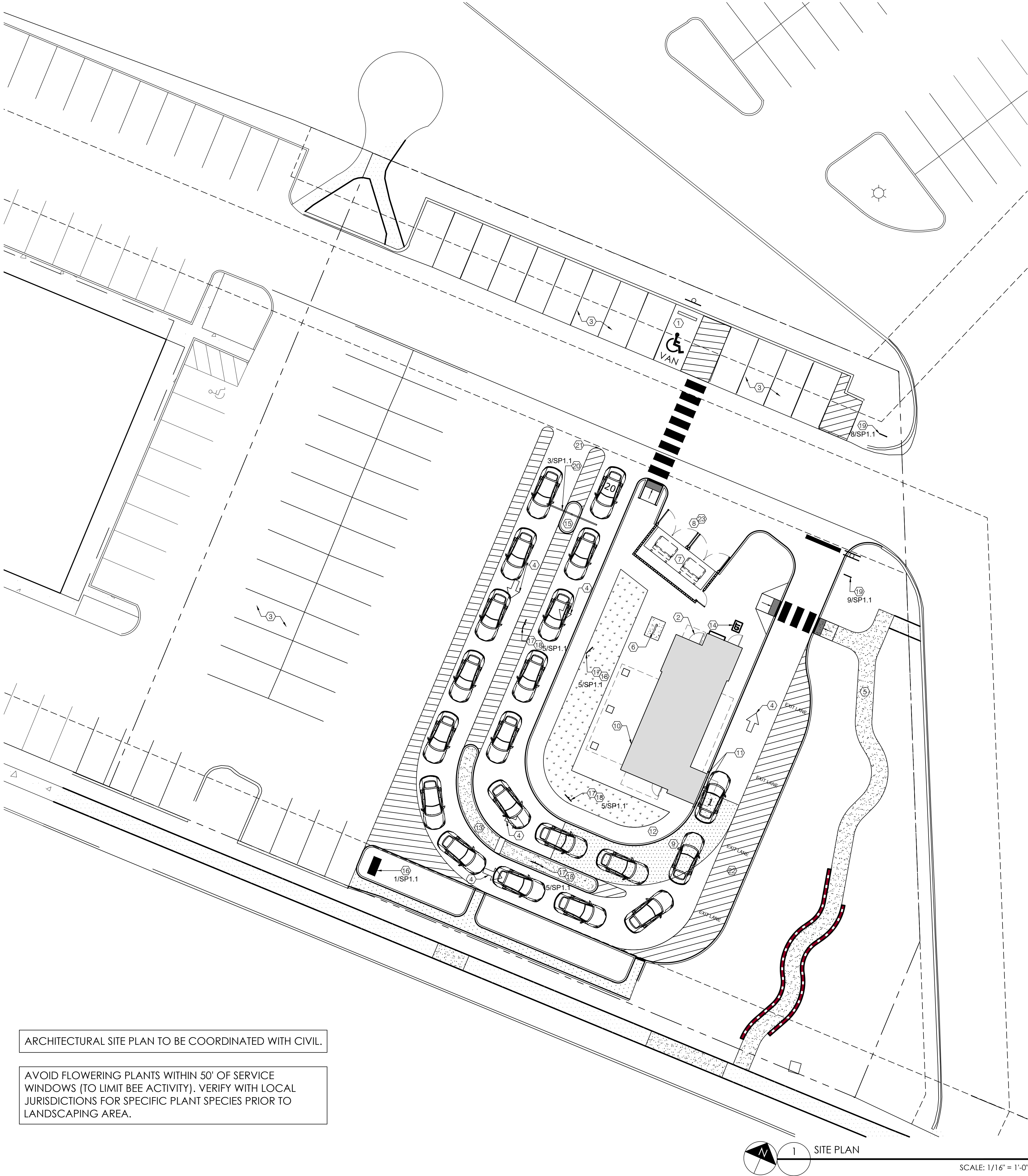
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C3.0

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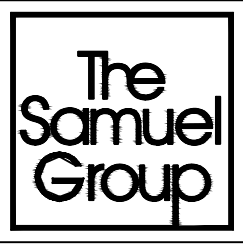
REFERENCE C8.0 THRU C8.3 FOR CIVIL NOTES AND SPECIFICATIONS.

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SITE PLAN KEYNOTES:

1. ACCESSIBLE VAN PARKING STALL W/ ACCESSIBLE PARKING ONLY SIGN
2. ACCESSIBLE HARDWARE AND CLEARANCES REQUIRED
3. PARKING STALL, TYPICAL (18' X 9') OR AS REQUIRED BY LOCAL JURISDICTION
4. DIRECTIONAL PAINT, AS REQUIRED
5. ACCESSIBLE ROUTE FROM PUBLIC ROW
6. BIKE RACK LOCATION, AS REQUIRED BY LOCAL JURISDICTION
7. TRASH ENCLOSURE, 24'X12' MIN. OR AS REQUIRED BY LOCAL JURISDICTION, W/ LOCKING GATES. REFER TO SHEETS A9.0-A9.1 FOR DETAILS; COORD. W/ LOCAL REFUSE SERVICE PROVIDER FOR MIN. REQUIREMENTS AND CLEARANCES
8. TRASH LOADING ZONE. COORDINATE APPROACH AND ORIENTATION OF TRASH ENCLOSURE W/ LOCAL REFUSE SERVICE PROVIDER
9. CONCRETE PAD AT DRIVE-THRU WINDOW; DRIVE-THRU CONC. PAD: MIN. 60' IN LENGTH, UNLESS NOTED OTHERWISE
10. WALK-UP SERVICE WINDOW
11. 6" BOLLARD W/ DB BOLLARD COVERS, BOLLARD LOCATIONS VARY FOR INDIVIDUAL STORE DESIGNS; SEE FLOOR PLANS
12. CONC. "RUNNERS" SIDEWALK, MIN. 5' WIDE ON DRIVERS SIDE OF DRIVE AISLE
13. CONC. MEDIAN, MIN. 5' WIDE
14. PREFERRED GREASE INTERCEPTOR LOCATION, IF REQUIRED BY LOCAL JURISDICTION
15. PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX FOR FUTURE DRIVE-THRU SENSORS.
16. MONUMENT / POLE SIGN, BY OTHERS, FACING MAIN STREET, REFERENCE SHEET SP1.1
17. POLE MOUNTED STATIC BACKLIT LED MENU BOARD, BY OTHERS, PROVIDE POWER AND DATA IN WEATHERPROOF J-BOX, REFERENCE SHEET SP1.1
18. PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX, FOR FUTURE DIGITAL MENU BOARD UPGRADE
19. POLE MOUNTED DIRECTIONAL SIGNAGE, BY OTHERS, REFERENCE SHEET SP1.1
20. CLEARANCE BAR, BY OTHERS, REFERENCE SHEET SP1.1
21. PAINT STRIPING, 10' BEFORE AND AFTER CONCRETE MEDIAN, STRIPES: 4" WIDE, 24" O.C., SAFETY WHITE
22. EXIT LANE W/ STRIPPING, STRIPES 4" WIDE, 24" O.C., SAFETY WHITE
23. 20'-0" CONCRETE APRON AT TRASH ENCLOSURE. REF: A9.0



ARCHITECTURE • PLANNING • INTERIORS
8828 N. STEMMONS FREEWAY
SUITE 500
DALLAS, TX 75247
TEL: 214-922-8012
PROJECT NUMBER: 2235056



Project No: TX6402
Dutch Bros Coffee - New Freestanding Store
1123 SE Military Dr
San Antonio, TX 78214
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

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02.20.2023

REV:	DATE:	DESCRIPTION:

SHEET NAME:

ARCHITECTURAL SITE
PLAN

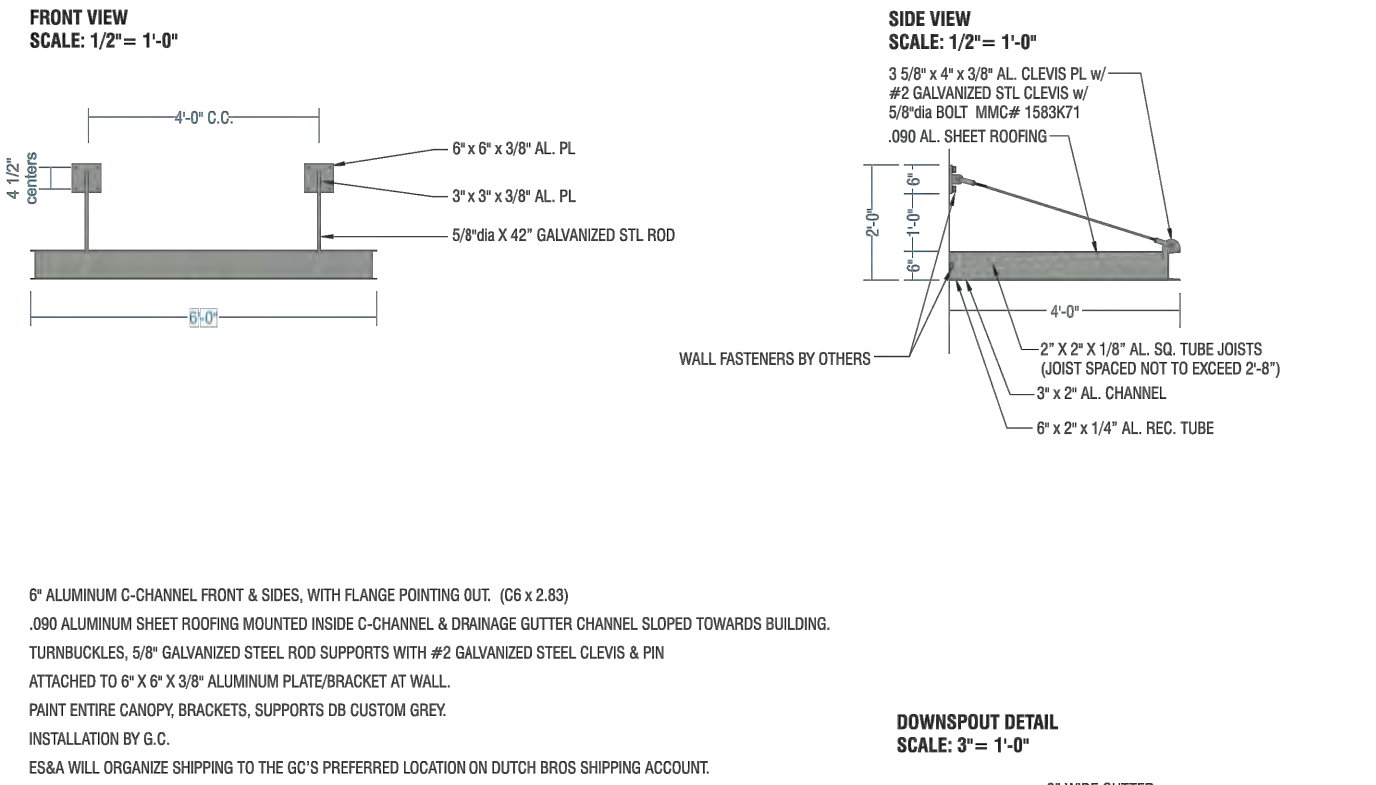
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SP1.0

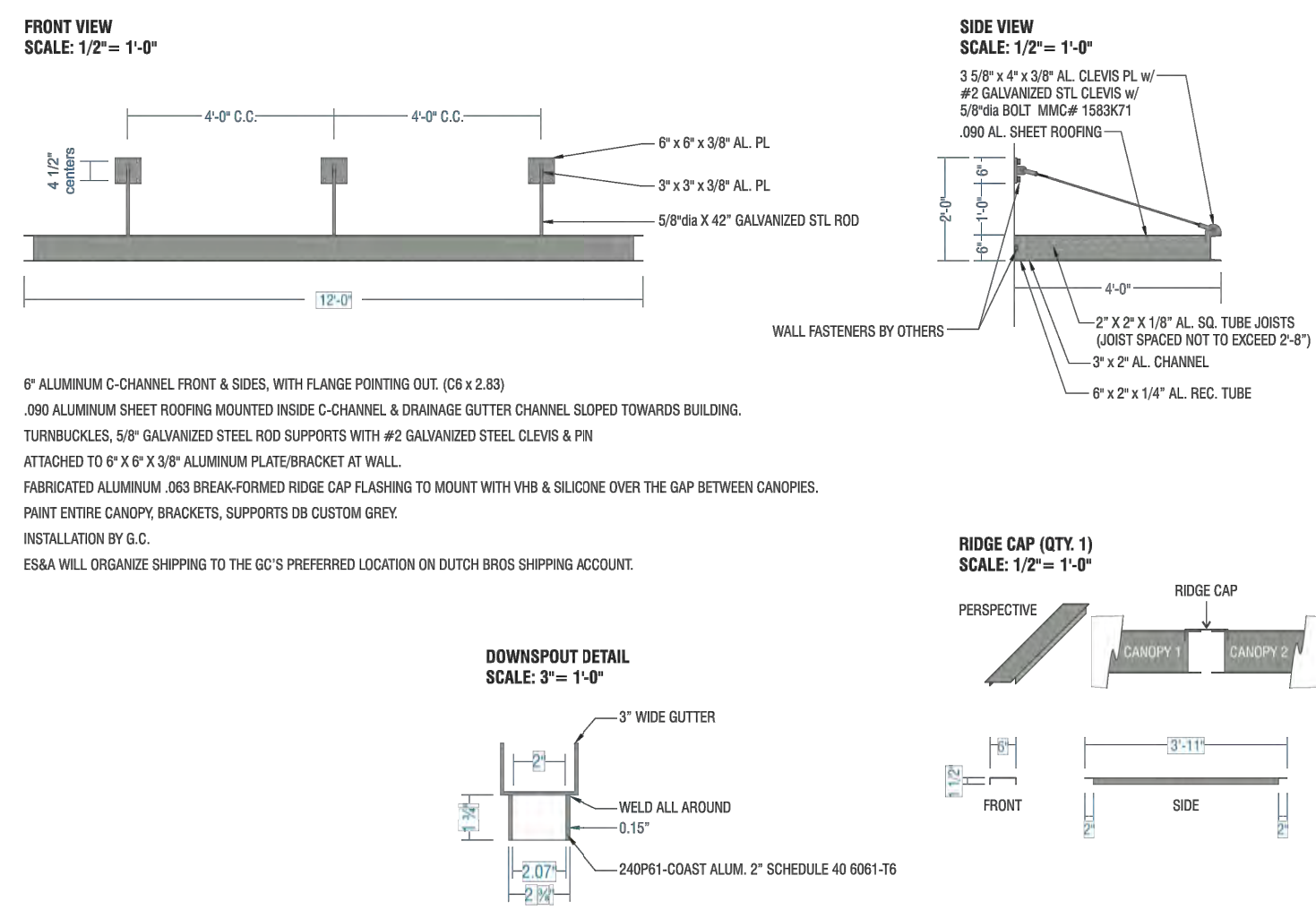
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2. FOOTINGS FOR SIGNS ARE TO BE VERIFIED BY LICENSED STRUCTURAL ENGINEER AND FOR LOCAL CODES SOIL CONDITIONS.

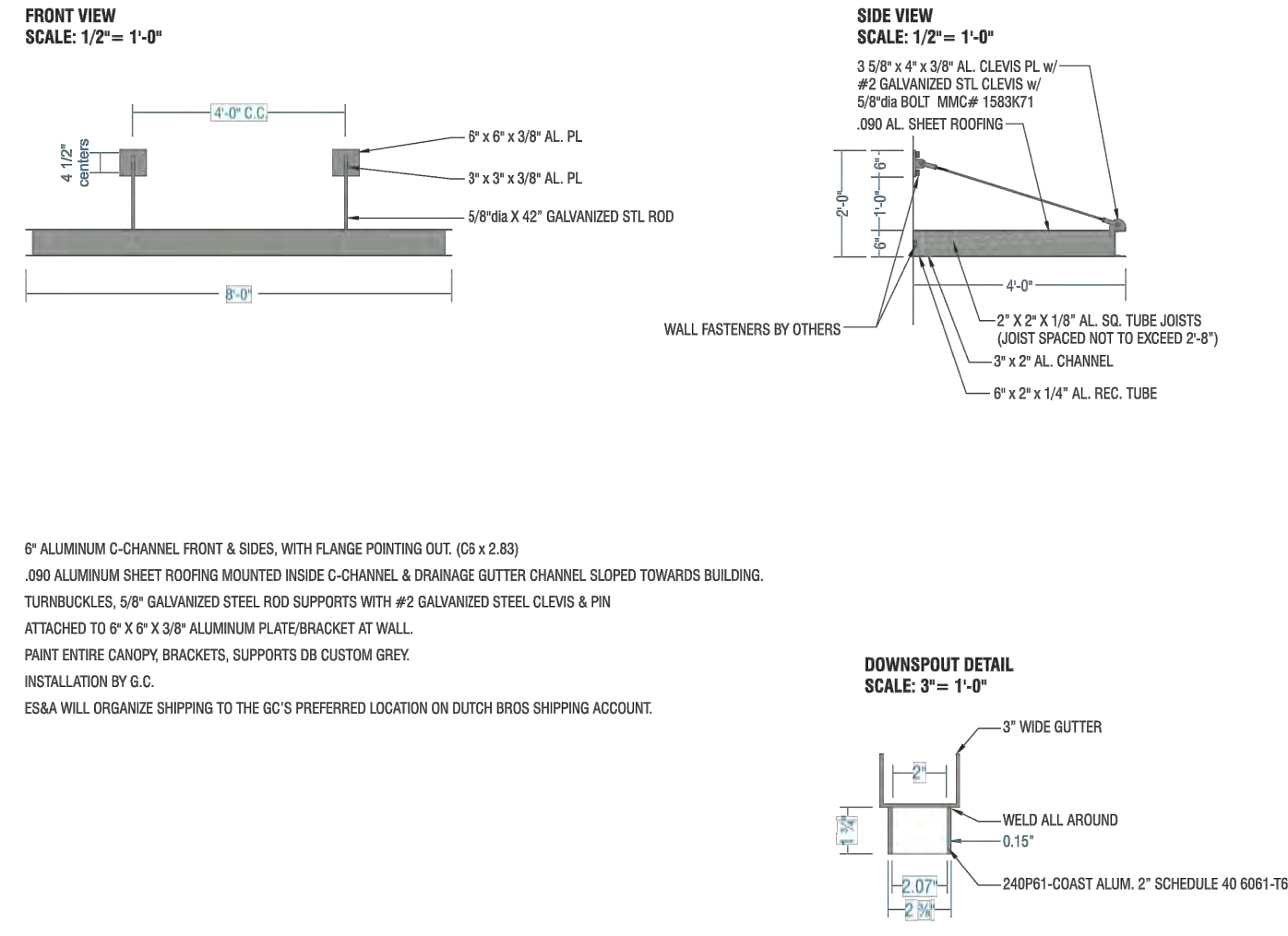




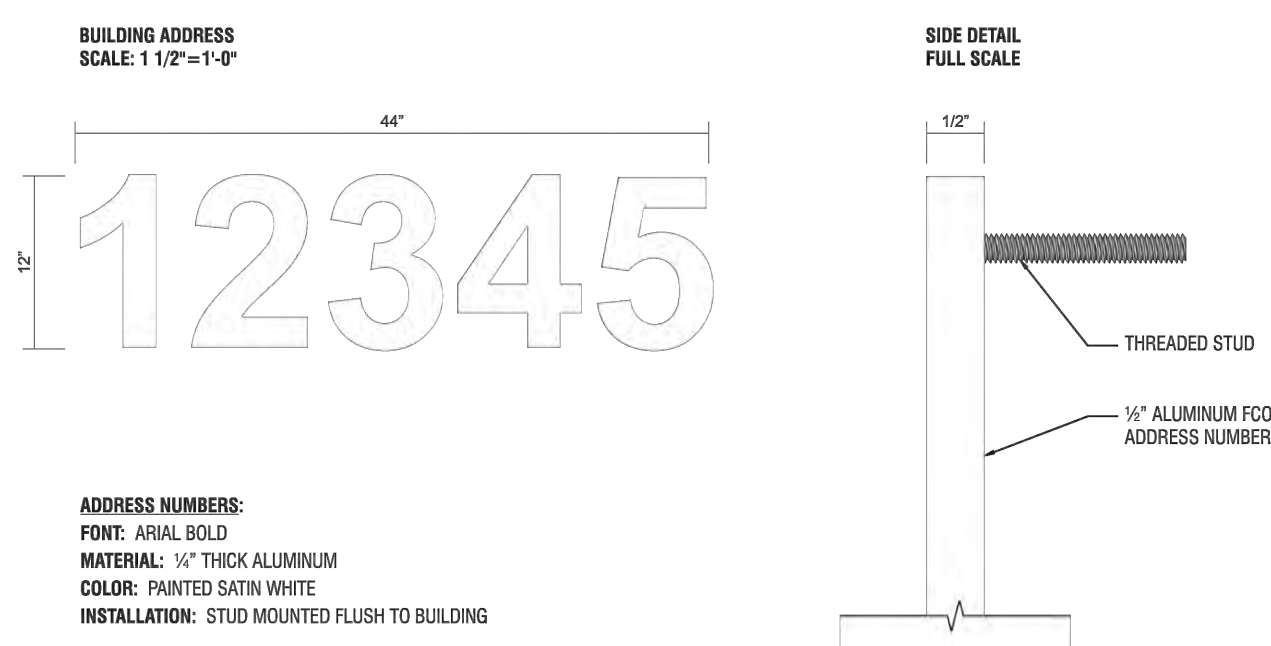
9 PRE-FAB. METAL AWNING BY OTHERS, AT REAR DOOR - REFERENCE ONLY



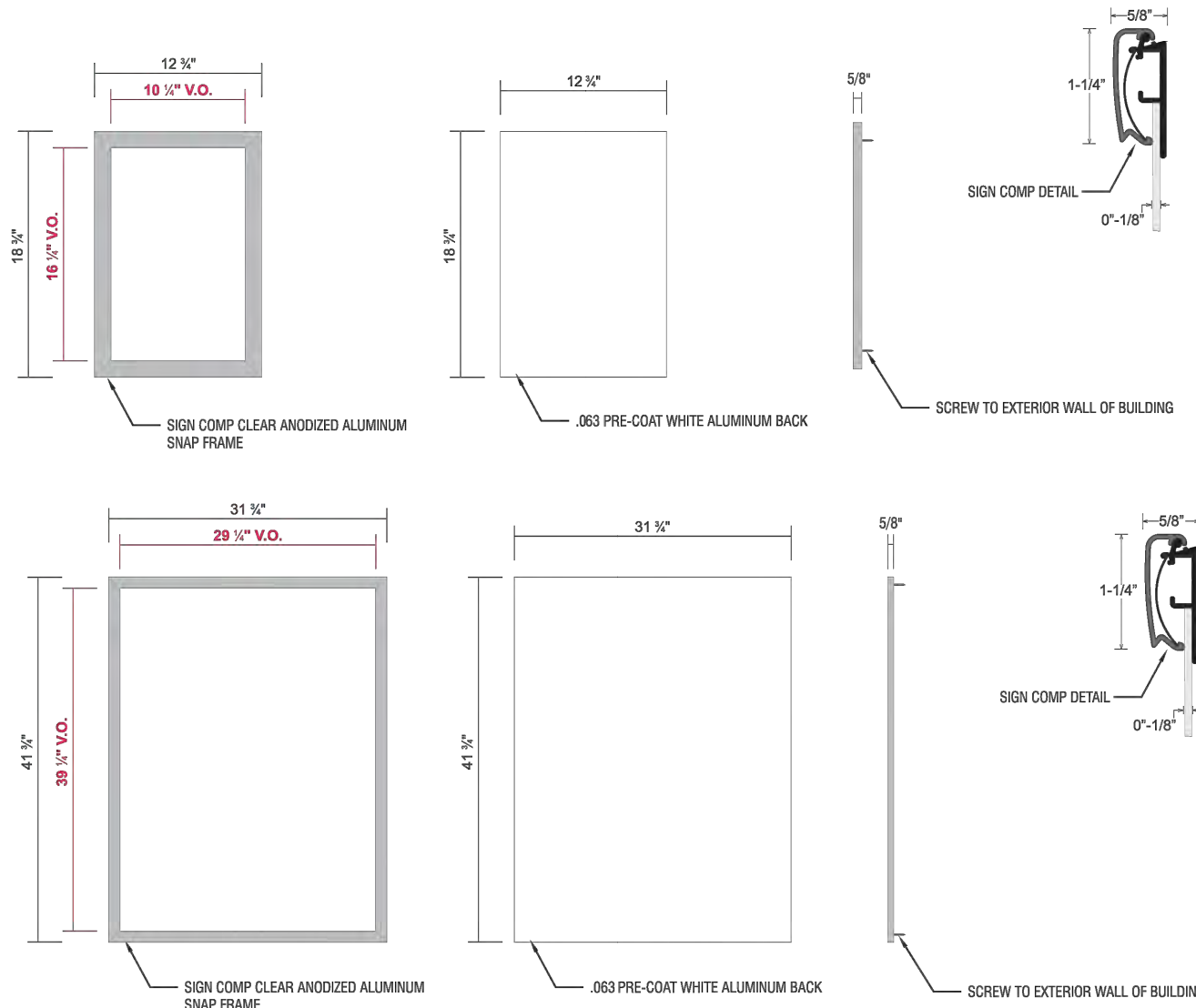
8 PRE-FAB. METAL AWNING BY OTHERS, AT "RUNNER" DOOR - REFERENCE ONLY



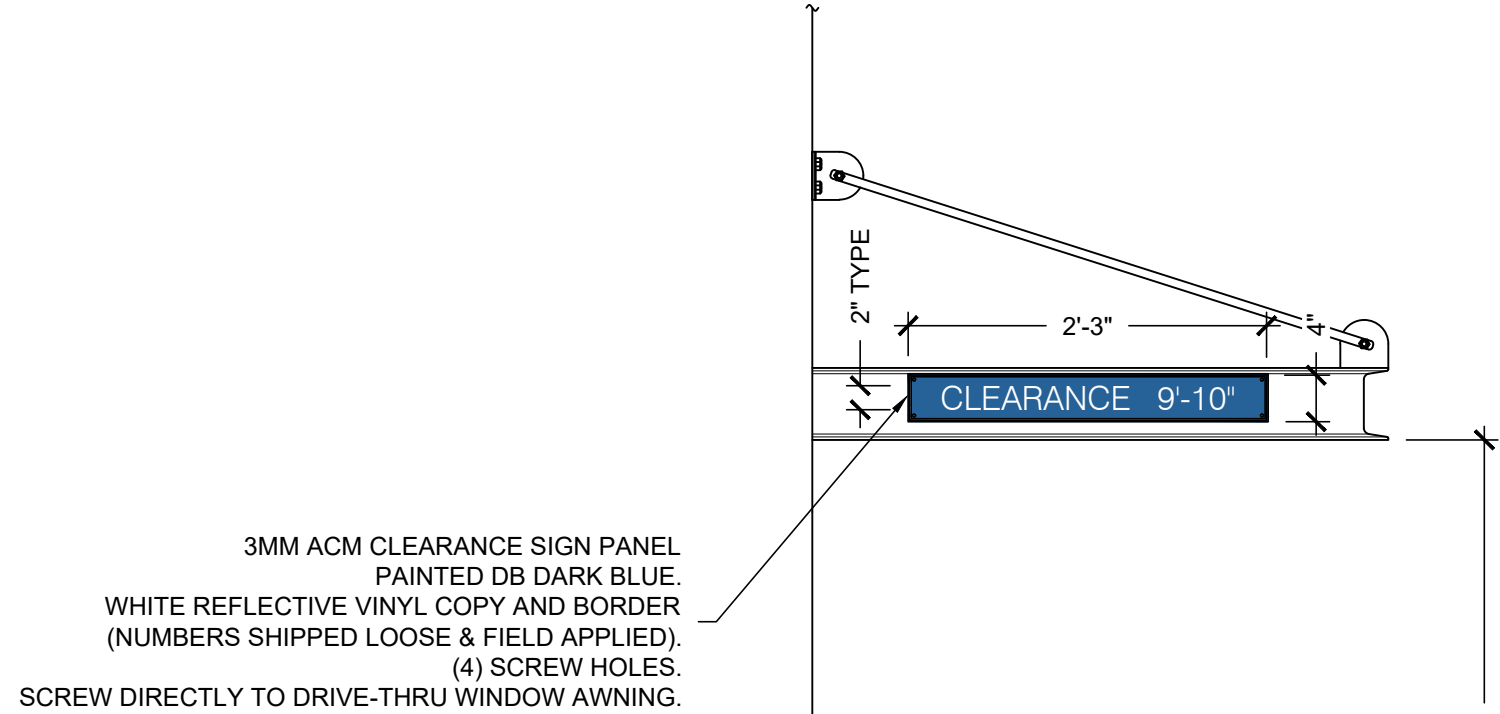
7 PRE-FAB. METAL AWNING BY OTHERS, AT DRIVE-THRU WINDOW - REFERENCE ONLY



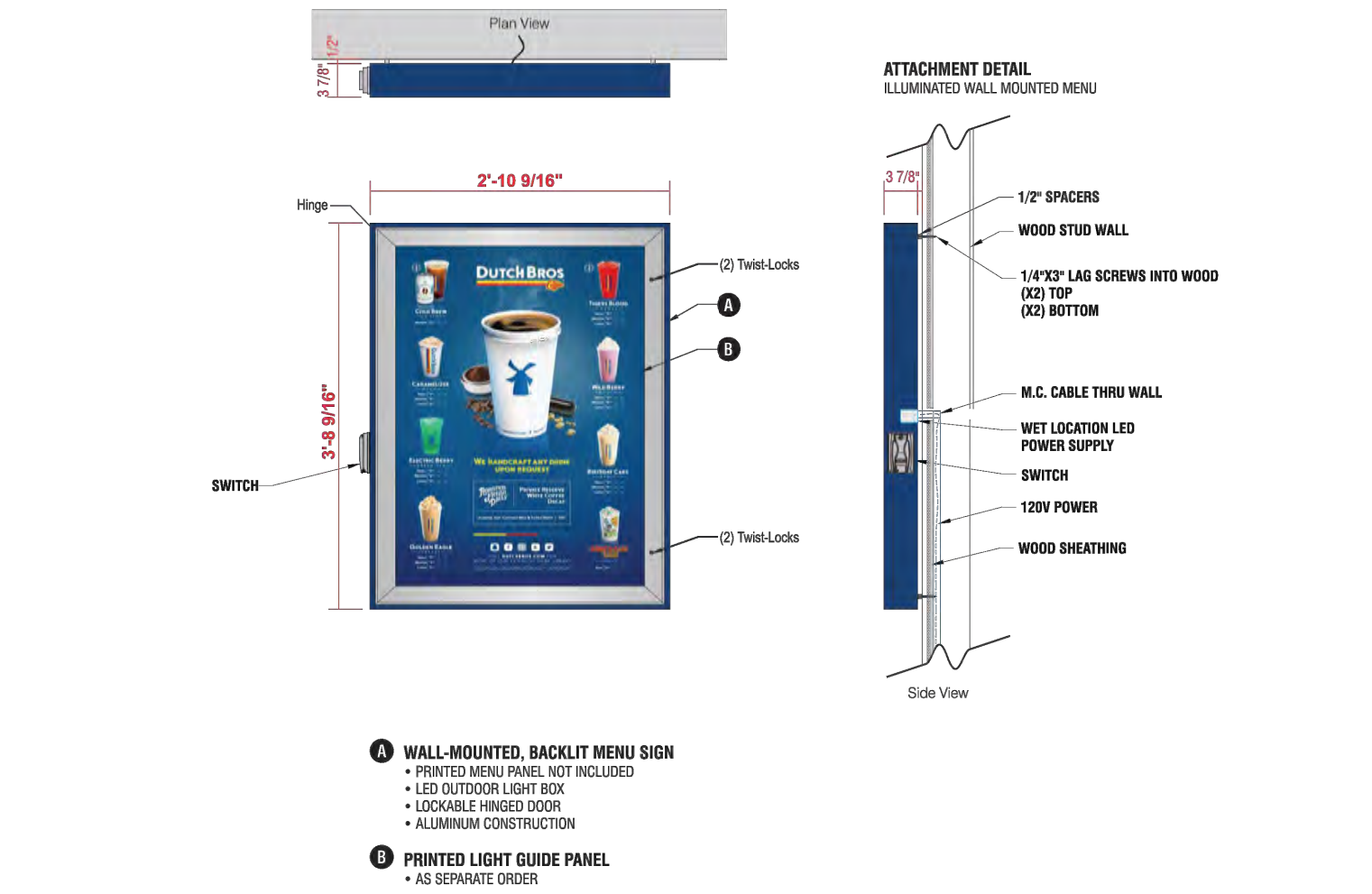
6 BUILDING ADDRESS NUMBERS BY OTHERS - REFERENCE ONLY



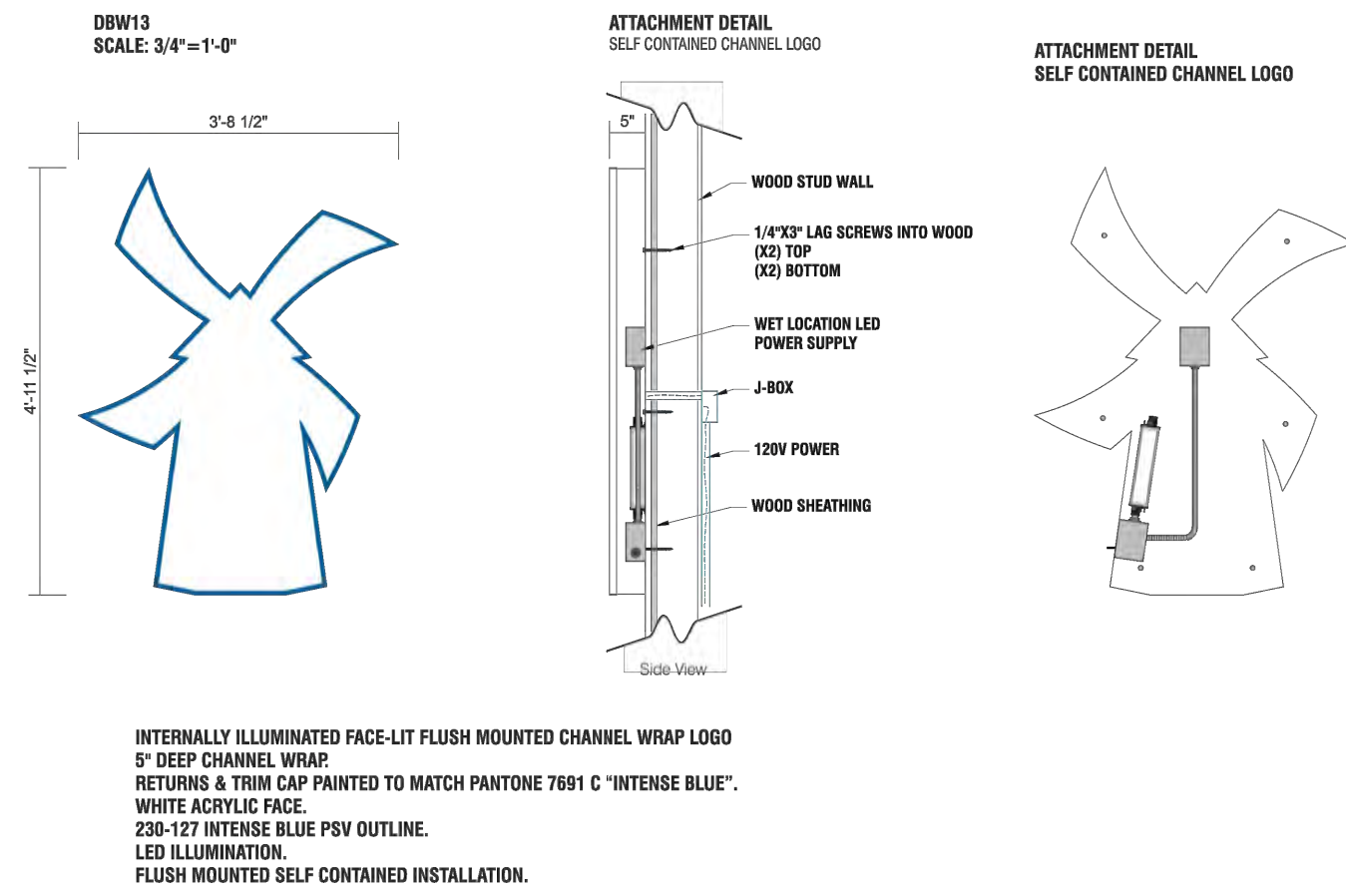
5 BUILDING SIGN, SNAP FRAMES, BY OTHERS - REFERENCE ONLY



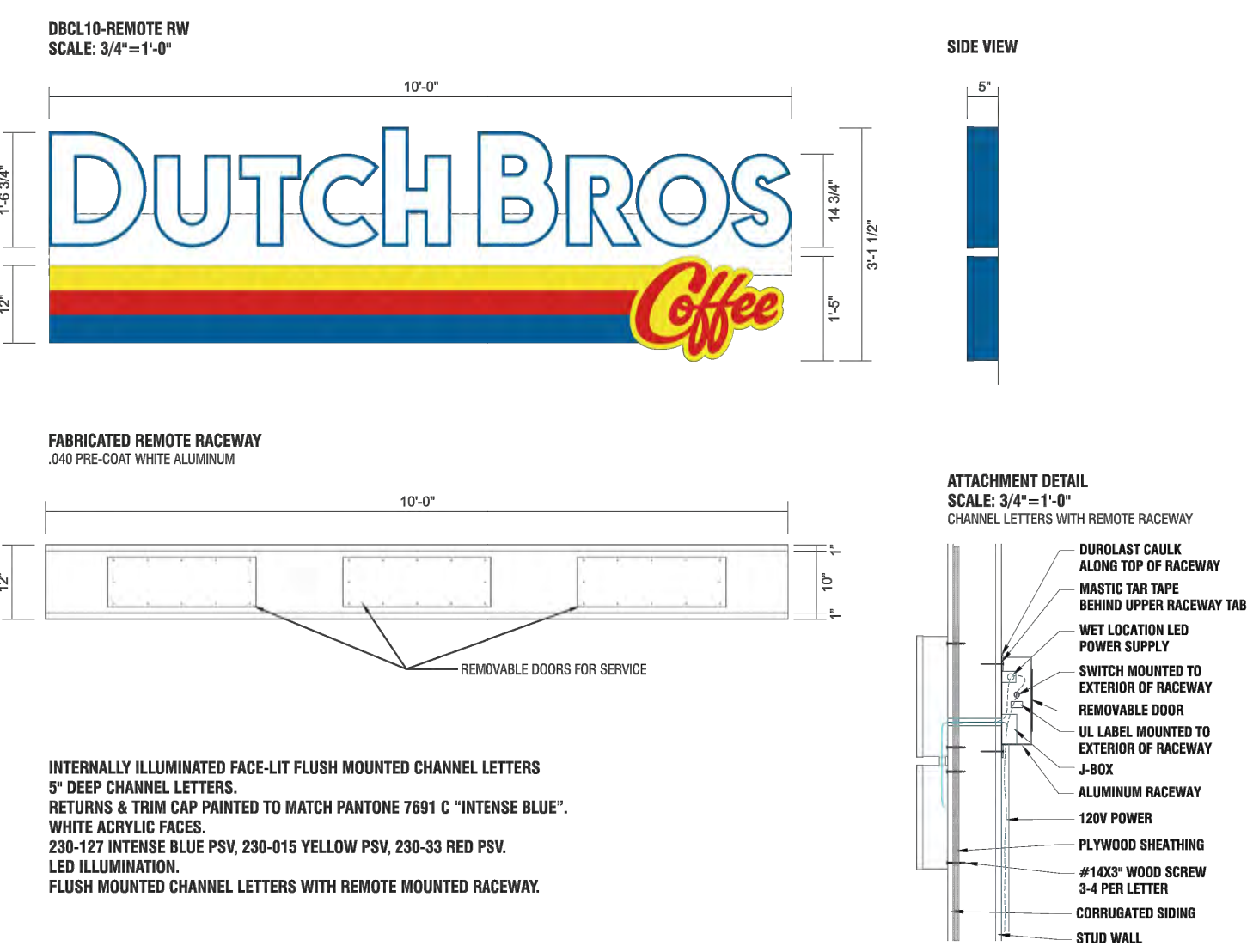
4 AWNING CLEARANCE SIGN BY OTHERS AT DRIVE-THRU WINDOW - REFERENCE ONLY



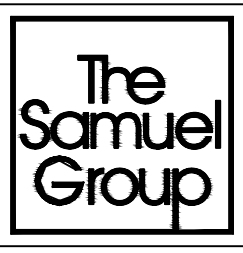
3 BUILDING SIGN, MENU BOARD, BY OTHERS - REFERENCE ONLY



2 BUILDING SIGN, WINDMILL, BY OTHERS - REFERENCE ONLY



1 BUILDING SIGN, CHANNEL LETTERS, BY OTHERS - REFERENCE ONLY



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BUILDING SIGNAGE
DETAILS

SHEET NUMBER:

SP1.2



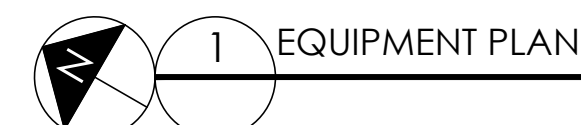
SCALE: 1/8" = 1'-0"



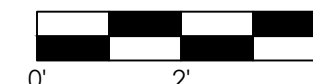
SCALE: 1/2" = 1'-0"

1. COOLER INSULATION VALUES FOR WALLS, CEILING, AND DOORS SHALL BE MIN. R-25
2. AUTOMATIC DOOR CLOSERS SHALL BE PROVIDED THAT FULLY CLOSE WALK-IN DOORS THAT HAVE BEEN CLOSED TO WITHIN 1 INCH OF FULL CLOSURE
3. DOORWAYS SHALL HAVE STRIP DOORS, CURTAINS, SPRING-HINGED DOORS OR OTHER METHOD OF MINIMIZING INFILTRATION WHEN DOORS ARE OPEN

1. THIS DRAWING IS FOR EQUIPMENT LAYOUT PURPOSES ONLY. PLEASE SEE FLOOR PLAN FOR FULLY DIMENSIONED PARTITION LOCATIONS AND ASSEMBLIES.
2. NOTE: PLEASE SEE SHEET G1.0, COVER SHEET, FOR CODE SUMMARY, BUILDING DATA AND EXIT ACCESS REQUIREMENTS.
3. G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
4. ALL FIRE EXTINGUISHERS SHALL BE STATE OF STATE CERTIFIED. ALL FIRE EXTINGUISHERS SHALL BE PROPERLY MOUNTED AT THE HEIGHT REQUIREMENTS OF NO HIGHER THAN 4'-6" A.F. TO THE TOP OF THE EXTINGUISHER AND AT LEAST 6' FROM FLOOR TO THE BOTTOM OF EXTINGUISHER. (NFPA 10: 6.1.3.8)
5. ALL PROPERLY MOUNTED FIRE EXTINGUISHERS SHALL NOT EXCEED 75' OF TRAVEL DISTANCE APART. (NFPA 1: 6.1)
6. FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. (NFPA 10: 6.1.3)
7. FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREAS. (NFPA 10: 6.1.3)
8. FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. (NFPA 10: 6.1.3.3)
9. TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:
 - A. TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN;
 - B. TACTILE SIGNAGE SHALL READ AS FOLLOWS: "EXIT";
 - C. TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1



SCALE: 3/8" = 1'-0"



ARCHITECTURE ■ PLANNING ■ INTERIORS
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SHEET NAME:

EQUIPMENT/ ENLARGED
COOLER/ FIRE-LIFE
SAFETY PLANS

SHEET NUMBER

A1.0

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EQUIPMENT SCHEDULE - DB2550-A2																				
EQUIPMENT INFORMATION									POWER REQUIREMENTS				PLUMBING REQUIREMENTS						NOTES	
	ID TAG	EQUIPMENT DESCRIPTION	PROVIDED BY	INSTALLED BY	QUANTITY	MANUFACTURER	MODEL NUMBER	COLOR/ OPTIONS	VOLTS	PHASE	AMPS	CONNECTION TYPE	WATER TYPE	WATER TEMP	CONNECTION TYPE	CONNECTION SIZE	PSI	DRAIN REQUIREMENTS	DBC: DUTCH BROS COFFEE PARTS KES: KITCHEN EQUIPMENT SUPPLIER EC: ELECTRICAL CONTRACTOR IT: IT TECHNICIAN	GC: PC: MC: GENERAL CONTRACTOR PLUMBING CONTRACTOR MECHANICAL CONTRACTOR
"WORKSTATION"	EQ1	ESPRESSO MACHINE	DBC	KES/ EC/ PC	3 TOTAL + 1 OPTIONAL	LA MARZOCCO	LINEA 3 GROUP	STAINLESS	220	1 PH	29.3A	208-240V 1 PH.WIRED 10-50P; NEMA 10-50R PLUG - PLUG PROVIDE BY DBC	FILTERED	COLD	MALE COMPRESSION S/O	3/8" MIN.	45	3/4" FLEX DRAIN LINE	INSTALL PLUG END ON CORD & PLUG INTO OUTLET; INSTALL FILTERED COLD WATER LINE WITH BRAIDED FLEX HOSE TO MACHINE; INSTALL FLEXIBLE DRAIN INTO RIGID DRAIN PROVIDED BY PC. THE "MIDDLE TOE" OF THE OUTLET IS TO POINT DOWN.	
	EQ2	GRINDER	DBC	KES	6 TOTAL + 2 OPTIONAL	MAZZER	MAJOR	DARK GRAY	120		5.4A	NEMA 5-20	-	-	-	-	-	-	UNBOX, SET ON COUNTER AND PLUG INTO OUTLET	
	EQ3	HOT WATER DISPENSER	DBC	KES/ EC/ PC	3 TOTAL + 1 OPTIONAL	BUNN	43600.0026-H5X	STAINLESS/ BLACK	120V	1 PH	15.4A	NEMA5-20	FILTERED	COLD	MALE	1/4"				
	EQ4	GLASS FILLER	KES	PC	3 TOTAL + 1 OPTIONAL	FISHER	59099	STAINLESS	-	-	-	-	FILTERED	COLD	MALE	1/2" NPT	60 PSI	-	MOUNT @ RAPID RINSE STATION WELL	
	EQ5	TRASH CAN	DBC	GC	3 TOTAL + 1 OPTIONAL	RUBBERMAID	SLIM JIM	BLACK	-	-	-	-	-	-	-	-	-	-	TRASH CAN LOCATED UNDER KNOCK BOX CHUTE FOR COFFEE GROUND.	
	EQ6	BLENDER	DBC	GC	4	BLENTEC	STEALTH 885	BLACK	120	-	15A	NEMA 5-20	-	-	-	-	-	-	COUNTER TOP OPTON	
	EQ7	FROZEN BEVERAGE MACHINE	DBC	3RD PARTY	3	TAYLOR	342	STAINLESS	(2) 208	-	16A	NEMA L-620	-	-	-	-	-	-	TAYLOR TO PROVIDE INSTALL; GC/ EC TO COORDINATE. TWO (2) TWIST LOCK OUTLETS NEED FOR EACH MACHINE	
	EQ8	ICE MACHINE	KES	KES/ PC/ EC	1 TOTAL + 1 OPTIONAL	MANITOWOC	IYF-2100C	STAINLESS	120	1PH	1.1A	NEMA 5-20	FILTERED	COLD	-	3/8"		3/4"	INSTALLATION BY APPROVED MANITOWOC CONTRACTOR TO BE HIRED BY GC. PLUMBER TO CONNECT BRAIDED WATERLINE AND 3/4" DRAIN OFF OF ICE CUBER AND PIPE DOWN TO FLOOR SINK BELOW ICE BIN. PLUG INTO 120V OUTLET. NOTE: PC AND EC TO PROVIDE ADDITIONAL OUTLET AND WATERLINE STOP FOR FUTURE 2ND ICE MACHINE	
	EQ8A	ICE MACHINE COND.	KES	KES/ EC	2	MANITOWOC	CVDF2100	STAINLESS	208-230/ 60	3PH	30.0A	-	-	-	-	-	-	-	MOUNTED ON ROOF.	
	EQ8B	ICE MACHINE WATER FILTRATION	DBC	GC/ PC	1	EVERPURE COLDDRINK/ INSURICE TWIN MANIFOLD w/ 20" PREFILTER	EV9293-22	-	-	-	-	-	-	COLD	-	3/4"	-	-	COORD. STUB OUT LOCATION w/ ICE MACHINE; REFERENCE INTERIOR ELEVATIONS	
	EQ9	ICE STORAGE BIN	KES	KES	1	FOLLET	DEV1650SG-60-ICS125	STAINLESS/ GRAY	-	-	-	-	-	-	-	-	-	-	PIPE DRAIN INTO NEAREST FLOOR SINK	
	EQ10	ICE CADDY	KES	KES	5 + 1 OPTIONAL	IRP	ICE CADDY 100	BLACK	-	-	-	-	-	-	-	-	-	-	ICE CADDY SHALL DRAIN TO FLOOR SINK BELOW	
	EQ11	27" UNDER COUNTER REFRIGERATOR	KES	KES	1	BEVERAGE-AIR	UCR27HC	STAINLESS	115	1PH	2.0A	NEMA 5-15	-	-	-	-	-	-	FOR TABLES w/ 36" DEPTH. SEE TABLE 5. SPECIFY ON ORDER: 2-3/4" CASTERS, LOW PROFILE IN LIEU OF 6" STANDARD.	
	EQ12	CUP DISPENSER	DBC	KES	25	DISPENSE RITE	PL-CT-4BT	BLACK	-	-	-	-	-	-	-	-	-	-	ATTACH TO BOTTOM OF HANGING SHELVES W/ SS BRACKET	
	EQ12A	CUP DISPENSER	DBC	KES		DISPENSE RITE	PL-CT-5BT	BLACK	-	-	-	-	-	-	-	-	-	-	ATTACH TO BOTTOM OF HANGING SHELVES W/ SS BRACKET	
	EQ13	UNISTRUT & ALL-THREAD (ABOVE ACT)	GC	GC	-	-	-	-	-	-	-	-	-	-	-	-	-	-	GC TO INSTALL UNISTRUT & ALL-THREAD, ABOVE ACT W/ ALL NECESSARY HARDWARE; REFERENCE DETAIL 8/A3.0	
		UNISTRUT (BELOW ACT)	GC	GC	-	-	-	-	-	-	-	-	-	-	-	-	-	-	GC TO INSTALL UNISTRUT BELOW ACT; PAINTED TO MATCH SHELVING; REFERENCE DETAIL 8/A3.0	
		CEILING MOUNTED SHELVING (48"x24")	KES	KES	28	ULINE	H-3187BL	BLACK	-	-	-	-	-	-	-	-	-	-	48"x24" & 36"x24" SHELVING - HUNG: - KES TO INSTALL (2) SETS OF CEILING HUNG SHELVES OVER EACH STAINLESS COUNTER AND 3-COMP SINK PER SHELVING PLAN. - ATTACH TO PAINTED UNISTRUT AND HANG ALL-THREAD FROM TOP OF UNISTRUT THROUGH BOTTOM OF SHELVING POST SECURED W/ FENDER WASHERS AND BOLTS. EXTRA ALL THREAD AT BOTTOM OF POST TO BE CUT OFF AND FILED SMOOTH. - REFERENCE DETAIL 8/A3.0	
		CEILING MOUNTED SHELVING (36"x24")	KES	KES	6	ULINE	H-3186	BLACK	-	-	-	-	-	-	-	-	-	-		
		CEILING MOUNTED POSTS (54")	KES	KES	48	ULINE	H-6795BL	BLACK	-	-	-	-	-	-	-	-	-	-		
		CEILING MOUNTED SHELF LINERS (48"x24")	KES	KES	28	ULINE	H-2440	CLEAR	-	-	-	-	-	-	-	-	-	-		
		CEILING MOUNTED SHELF LINERS (36"x24")	KES	KES	6	ULINE	H-2439	CLEAR	-	-	-	-	-	-	-	-	-	-		
		CEILING MOUNTED SHELVING DIVIDERS (24"x8")	KES	KES	TBD BY OWNER	ULINE	H-1761BL	BLACK	-	-	-	-	-	-	-	-	-	-		
	EQ13A	STANDING SHELVING (24"x48")	KES	KES	2	CAMBRO	ESU244884S5580	BRUSHED GRAPHITE	-	-	-	-	-	-	-	-	-	-	24"x48"x84" & 24"x36"x84" STANDING SHELVES; REFERENCE PLAN.	
		STANDING SHELVING (24"x36")	KES	KES	1	CAMBRO	ESU243684S5580	BRUSHED GRAPHITE	-	-	-	-	-	-	-	-	-	-	ADDITIONAL HARDWARE: - (4) CAMBRO - EDS24H6580 - (8) CAMBRO - CSWF - (1) CAMBRO - ECC10580	
		STANDING SHELVING (24"x36")	KES	KES	1	CAMBRO	EA243684S5580	BRUSHED GRAPHITE	-	-	-	-	-	-	-	-	-	-		
		STANDING SHELF LINERS (48"x24")	KES	KES	1	CAMBRO	ESK2436SS5580	BRUSHED GRAPHITE	-	-	-	-	-	-	-	-	-	-		
	EQ14	WALL MOUNTED DRINK SPEED RAILS	OWNER	OWNER	3	SAN JAMAR	B5522	STAINLESS	-	-	-	-	-	-	-	-	-	-	STAINLESS STEEL SPEED RAIL (31-1/8"x4-1/8"x6")	
	EQ15	WALK-IN COOLER BOX	KES	GC/ PC/ EC	1	REFRIGERATION CONTRACTORS	CUSTOM	WHITE	-	-	-	-	-	-	-	-	-	-	CUSTOM WALK-IN BOX WITH GLASS DOORS AND ALUMINUM COVE BASE. GC'S REFRIGERATION CONTRACTOR TO SET BOX IN URETHANE SEALANT ON TOP OF QUARRY TILE FLOOR AND INSTALL ALUMINUM COVE BASE AROUND INSIDE AND OUTSIDE PERIMETER OF BOX AT FLOOR. REFRIGERATION SUB ALSO TO INSTALL VERTICAL CLOSURE STRIPS BETWEEN THE WALK-IN COOLER AND THE ADJACENT WALLS AND BETWEEN WALK-IN COOLER CEILING AND BUILDING WALLS IF REQUIRED BY LOCAL HEALTH DEPARTMENT. PROVIDE WALK-IN COOLER (ANTHONY DOORS) DOOR CIRCUIT.	
"HOUSE"	EQ15A	WALK-IN COOLER COND.	KES	KES/ GC/ PC/ EC	1	HEATCRAFT	MOZ015M63	PER MFR.	208/230	3PH	RLA-8.7A LRA-58A	-	-	-	-	-	-	-	INSTALLED ON ROOF.	
	EQ15B	WALK-IN COOLER EVAP. COIL	KES	KES/ GC/ PC/ EC	1	HEATCRAFT	ULA132	PER MFR.	115/ 60	1PH	3.6A	-	-	-	-	-	-	-	INSTALLED IN WALK-IN COOLER, REFERENCE PLAN; VERIFY W/ OWNER	
	EQ15C	WALK-IN COOLER SHELVING	KES	GC	3 SETS	ANTHONY	-	-	-	-	-	-	-	-	-	-	-	-	REFERENCE ENLARGED COOLER PLAN	
	EQ20	"OPEN" SIGN	DBC	GC	3	ES&A CO.	TBD	PER. MANU.	-	-	-	-	-	-	-	-	-	-	CENTER ON WINDOWS, ON SWITCHED OUTLET, REFERENCE ELEVATIONS	
	EQ21	MENU BOARDS	DBC	GC	5	ES&A CO.	TBD	PER. MANU.	-	-	-	-	-	-	-	-	-	-	COORD. W/ ARCHITECTURAL ELEVATIONS	
	EQ21A	"GOODIES" MENU	DBC	GC	2	TBD	TBD	PER MFR.	-	-	-	-	-	-	-	-	-	-	COORD. W/ ARCHITECTURAL ELEVATIONS	
	EQ21B	SNAP FRAMES	DBC	GC	2	TBD	TBD	PER MFR.	-	-	-	-	-	-	-	-	-	-	COORD. W/ ARCHITECTURAL ELEVATIONS	
	EQ22	BOLLARD COVER	DBC	GC	2	IDEAL SHIELD	7" COVER	BLUE W/ LOGO	-	-	-	-	-	-	-	-	-	-		
	EQ23	42" WALL MOUNTED AIR CURTAIN	GC	GC	1	QUIKSERV	SANITATION CERTIFIED LOW PROFILE 7 - 42"	WHITE	120/1/60	1PH	3.4A	-	-	-	-	-	-	-	QUIKSERV AIR CURTAIN, 42", MOUNT 2" ABOVE DOOR FRAME	
	EQ23A	48" WALL MOUNTED AIR CURTAIN	GC	GC	1	QUIKSERV	SANITATION CERTIFIED LOW PROFILE 7 - 48"	WHITE	120/1/60	1PH	3.4A	-	-	-	-	-	-	-	QUIKSERV AIR CURTAIN, 48", MOUNT 2" ABOVE DOOR FRAME	
	EQ24	25" AIR CURTAIN - SERVICE WINDOW	GC	GC	2	QUIKSERV	QSK1025AA-BK	BLACK	120	1PH	3.4A	-	-	-	-	-	-	-	QUIKSERV AIR CURTAIN, 25" MOUNT DIRECTLY ABOVE SERVICE WINDOW PER MRF. RECOMMENDATIONS	
	EQ25	SAFE	KES	KES	1	AMSEC	DSF2014-ESL10	BLACK	-	-	-	-	-	-	-	-	-	-	BOLT TO FLOOR BELOW MANAGER DESK	
	EQ27	EMPLOYEE LOCKERS	KES	-	2	ULINE	H-6735AGR (12x12x72")	GRAY	-	-	-	-	-	-	-	-	-	-		
	EQ28	FIRE EXTINGUISHER	GC	GC	1	ULINE	S-9873	RED	-	-	-	-	-	-	-	-	-	-	UL RATING 2A:10B:C	
	EQ29	FIXED ROOF ACCESS LADDER	GC	GC	1	TRI-ARC	WLF50116	GRAY	-	-	-	-	-	-	-	-	-	-	STEEL, 15' LADDER W/ 16 STEPS; TOP EXIT	
	EQ30	LADDER SAFETY POST	GC	GC	1	BILCO	LU-1	YELLOW	-	-	-	-	-	-	-	-	-	-	YELLOW POWDER COATED STEEL LADDER SAFETY POST	
	EQ31	ROOF HATCH	GC	GC	1	BILCO	SINGLE LEAF SCUTTLE TYPE S-20	RED OXIDE PRIME FINISH	-	-	-	-	-	-	-	-	-	-	ROOF HATCH 3'-0"x2'-6" - PRE-ASSEMBLED SINGLE LEAF INSULATED PAINT BOND ROOF SCUTTLE EQUAL TO BILCO TYPE S ROOF HATCH PROVIDE INTERIOR PADLOCK GIVE KEYS TO CONSTRUCTION PROJECT MANAGER	
	EQ32	ATTIC ACCESS PANEL	GC	GC	1	BEST ACCESS DOORS	BA-CTR-22x30	WHITE	-	-	-	-	-	-	-	-	-	-	ACCESS DOOR W/ HIDDEN FLANGE FOR ALL SURFACE TYPES; PROVIDE KEYED LATCH	
	EQ33	KEY LOCK BOX	GC	GC	1	KNOX	KNOXBOX 3200	BLACK	-	-	-	-	-	-	-	-	-	-	SURFACE MOUNTED AT 72" A.F.F. AT REAR DOOR	
	EQ34	"HUG" FREEZER	DBC	GC	1	KELVINATOR	738089 (KCCF073WS)	WHITE	115	1PH	1.0A	NEMA 5-15	-	-	-	-	-	-	FREEZER FOR "HUG" VESTS; TO BE INCLUDED IN CLIMATE ZONES 1-5	



ARCHITECTURE • PLANNING • INTERIORS
8828 N. STEMMONS FREEWAY
SUITE 500
DALLAS, TX 75247
TEL: 214-922-8012
PROJECT NUMBER: 2235056



Project No: TX6402
Dutch Bros Coffee - New Freestanding Store
1123 SE Military Dr
San Antonio, TX 78214
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

ISSUED FOR PERMIT
REVIEW AND
CONSTRUCTION:
02.20.2023

REV:	DATE:	DESCRIPTION:

SHEET NAME:

EQUIPMENT SCHEDULE

SHEET NUMBER:

A1.1

IT SCHEDULE					
ID TAG	DESCRIPTION	MANUFACTURER	MODEL	QTY	REMARKS
IT-1	LOW VOLTAGE RACK	STRONG	SR-WMS-12U	1	PROVIDE BLOCKING & MOUNT TOP OF UNIT 3" BELOW SUSP. CEILING; REQUIRES TECH RACK FAN KIT
	TECH RACK FAN KIT	-	-	1	-
	BACK-UP BATTERY	APC	SC 450VA	1	PLACED INSIDE THE LOW VOLTAGE RACK
	RACK SHELF	PANDUIT	-	2	-
	SURGE PROTECTOR	WATTBOX	LIGHTED SURGE PROTECTOR	1	-
IT-2	AUDIO EQUIPMENT	TBD	TBD	-	LOCATED IN LOW VOLTAGE RACK
IT-3	IT EQUIPMENT	TBD	TBD	-	LOCATED IN LOW VOLTAGE RACK
IT-4	AMP	SONOS	TBD	2	(1) AMP FOR INTERIOR SPEAKERS; (1) AMP FOR EXTERIOR SPEAKERS
IT-5	SPEAKER - CEILING MOUNTED	SONOS	IN-CEILING BY SONANCE	2	SEE PLAN FOR LOCATION
IT-6	SPEAKER - EXTERIOR MOUNTED	SONOS	OUTDOOR BY SONANCE	2	SEE PLAN FOR LOCATION
IT-7	NOT USED	-	-	-	-
IT-8	IPAD 10.2"	APPLE	IPAD 10.2"	5	IPAD 10.2" REQUIRE SCREEN PROTECTOR (2/PK)
IT-8A	IPAD MINI	APPLE	IPAD MINI	11	-
IT-8B	IPOD TOUCH	APPLE	IPOD TOUCH	1	REQUIRES OTTERBOX CASE
IT-9	IPAD ADJUSTABLE ARM WALL MOUNT	THE JOY FACTORY	-	5	-
IT-9A	IPAD CLAMP MOUNT	THE JOY FACTORY	-	2	-
IT-9B	IPAD MAGNETIC MOUNT	THE JOY FACTORY	-	3	-
IT-10	IPAD TABLET MOUNT	MAGCONNECT	UNIVERSAL TABLET MODULE	5	-
IT-11	IPAD CHARGING CABINET	LUXOR 8	TABLET WALL/ DESK CHARGING STATION	1	8 OUTLET HORIZONTAL POWER CHARGING STRIP W/ PADDED INTERIOR AND RUBBER-COATED DIVIDERS AND 10' CORD
IT-12	3.5MM TO 2-MALE RCA ADAPTER	-	-	1	-
IT-13	POS SYSTEM	-	-	1	-
IT-14	CASH DRAWER PRINTER	APG	-	2	WIRELESS
IT-15	5' CAT-5E CABLE	-	-	1	-
IT-16	PAYPAL READER BUNDLE	-	-	6	PAYPAL READER BUNDLE - CHIP & TAP W/ CHARGING STATION
IT-17	SECURITY MONITOR	TBD	TBD	1	VERIFY LOCATION W/ DBC
IT-18	OUTDOOR AP	CISCO - MERAKI	MR74	1	VERIFY FINAL LOCATION W/ LOW VOLTAGE VENDOR

STAINLESS STEEL PACKAGE - DB2550-A2							
ID TAG:	DESCRIPTION:	QTY:	PROVIDED:	INSTALLED:	MFR:	MODEL:	REMARKS:
WORKSTATIONS:							
T1	90"Wx36"Lx34"H	1	KES	KES	KES	CUSTOM/ 14 ga. STAINLESS STEEL	WALK-UP WINDOW TABLE; SECURE TO WALL & SEAL W/ GRAY SILICONE. RAPID RINSE STATION SINK, KNOCK BOX & DIPPER WELL BUILT-IN.
T2	90"Wx36"Lx34"H	1	KES	KES	KES	CUSTOM/ 14 ga. STAINLESS STEEL	DRIVE-THRU WINDOW TABLE; SECURE TO WALL & SEAL W/ GRAY SILICONE. RAPID RISE STATION SINK & KNOCK BOX BUILT-IN
T3	103"Wx32"Lx34"H	1	KES	KES	KES	CUSTOM/ 14 ga. STAINLESS STEEL	WALK-UP WINDOW TABLE; CASH DRAWER FACING T1; SECURE TO WALL & SEAL W/ GRAY SILICONE. RAPID RINSE STATION SINK & KNOCK BOX BUILT-IN
T4	96"Wx32"Lx34"H	1	KES	KES	KES	CUSTOM/ 14 ga. STAINLESS STEEL	"PIT STATION" TABLE; SECURE TO WALL & SEAL W/ GRAY SILICONE. (2) 19"x14"x3" DRAIN PANS, 10"x18"x4" RAPID RINSE SINK w/ SPLASH GUARD & DIPPER WELL BUILT-IN
T5	103"Wx36"Lx34"H	1	KES	KES	KES	CUSTOM/ 14 ga. STAINLESS STEEL	"TRAINING TABLE", SIMILAR TO WALK-UP WINDOW TABLE. NO CASH DRAWER; SECURE TO WALL & SEAL W/ GRAY SILICONE. RAPID RINSE STATION SINK, KNOCK BOX & DIPPER WELL BUILT-IN
T6	60"Wx24"Lx34"H	1	KES	KES	KES	CUSTOM/ 14 ga. STAINLESS STEEL	DRIVE-THRU WINDOW CASH DRAWER TABLE W/ SHELF; SECURE TO WALL & SEAL W/ GRAY SILICONE
WORKSTATION ACCESSORIES							
TA-10	CASH DRAWER	2	KES	KES	APG	VB320-BL1616	PROVIDE w/ CASH DRAWER CHANNEL
TA-11	KNOCK BOX	4	KES	KES	KES	CUSTOM	14 ga., STAINLESS, BUILT INTO WORKSTATION. KNOCK BOX CROSS BAR - 7/16" DIA. THROUGH BOLT w/ NYLOCK WINGNUT BAR 5/14"x1-1/2" RUBBER INSERT ROUND. PROVIDE TRASH CAN BELOW
SHELVES							
SA-1	SERVICE WINDOW SHELVES	2	KES	KES	KES	CUSTOM	14 ga., 48"x12"x4" (BRACKET HEIGHT PER EXTERIOR FINISH); WALK-UP & DRIVE-THRU VERSIONS; INSTALL AT 34" MAX. A.F.F.
SA-2	MANAGER'S DESK	1	KES	KES	KES	CUSTOM	14 ga., 24"x20"x12", INSTALL AT 34" MAX. A.F.F.
SA-3	SHELVES	2	DBC	KES	KES	CUSTOM	14 ga., 24"x10"x8", INSTALL OVER 3-COMP SINK
SA-4	CUP DISPENSER BRACKETS	-	KES	KES	KES	CUSTOM	4-CUP & 5-CUP MODELS; INSTALLED PER PLAN & ELEVATIONS


LIGHTING SCHEDULE				
CONTRACTOR TO PROVIDE UNLESS NOTED OTHERWISE				
SUBSTITUTIONS ARE NOT ALLOWED AND VALUE ENGINEERING WILL NOT BE CONSIDERED. NO EXCEPTIONS				
ID TAG	FIXTURE DESCRIPTION	MFR	MODEL	REMARKS
L2	GRID LED, 2' x 2', ACRYLIC LENS	EIKO	SLM22-4CB-40K-U MV, 0-10V DIM	2x2 FLAT PANEL, LAYIN GRID CEILING, FROSTED LENS, LED 30W, 3750LM, 4000K, 0-10V DIM
L2E	GRID LED, 2' x 2', ACRYLIC LENS	EIKO	SLM22-4CB-40K-U-EM MV, 0-10V DIM	2x2 FLAT PANEL, LAYIN GRID CEILING, FROSTED LENS, LED 30W, 3750LM, 4000K, 0-10V DIM, W/ 10.7W EMERGENCY BATTERY PACK
L3	LED ROUND @ RESTROOM & MECH. ROOM	MAXIM	57736/WTWT - 36W/ LED/ 15" RND/ FLUSH/ 3000K/ MV, 120V, ELV DIMMABLE	15" DIA SURFACE J-BOX MOUNTED LED MILK-WHITE DIFFUSER, ROUND WHITE TRIM, 36W, 2200LM, 3000K, ELV DIMMABLE
L4	EXTERIOR SCONCE W/ BLUE FILTER	LIGMAN	UMT-31416-DBNA / 14/14W-N-W40-02-120/227V	14/14W; NARROW BEAM; 40W, 4000K, DARK GRAY, 120/227V; TO BE USED AT CANOPY COLUMNS ONLY W/ BLUE FILTER. VERIFY BEAM DIRECTIONS W/ OWNER. BOT. OF FIXTURE AT 8'-0" A.F.F.
L5	LED STRIP LIGHTING @ PARAPET 2	LEKTRON	LASER, 120-277 VAC, 24 VDC (PHILLIPS ADVANCE), 1.50W/ FT., DIMMABLE	BLUE LED STRIP LIGHTING AT PERIMETER OF PARAPET 2, REMOTE DRIVER INDOOR/ OUTDOOR RATED; LOCATE INSIDE OF BUILDING IN ACCESSIBLE LOCATION. USE TRANSFORMER SIZES PER RUNS/ WIRING GROUPS. MAX. RUN LENGTH IS 48'-0"
L6	WALL PACK	RAB	WPLED-26-Y-/ESP, MV, NON-DIM	EXTERIOR DECORATIVE WALLPACK. APPROX. 26W, 3300LM, 3000K, W/ EMERGENCY BACK UP; NO MOTION SENSOR OR PHOTOCCELL
L7	LED STRIP LIGHTING @ AWNINGS	SELF ELECTRONICS	CROWN-7040K110-S-SSP MV, 0-10V, DIM	6" WET LOCATION LINKABLE CUSTOM BATTEN STRIP, LED, HIGH-OUTPUT, 60W, 6300LM, 4000K, INTEGRAL DRIVER, AWNING MOUNTED AT 10'-6"; 1 ROW PER AWNING, ANGLED TO WASH WALL
L8	LIGHT FIXTURE @ ELECTRICAL ROOM	NUVO	65-224, 20W, 100-277V, 5000K, NOM-DIM	WALL MOUNTED VAPOR PROOF FIXTURE, W/ GUARD, GRAY, LED, 1800LM, 5000K, WET LOCATION LISTED
L9	FRAMED CANOPY SOFFIT LIGHTS	DMF	DRD5S-4-R-07-9-30 / DRDH-N-JO-KH MV, 120V, NON DIM	USED ONLY FOR APPLICATIONS REQUIRING SURFACE CEILING MOUNTED LIGHTS. RECESSED OCTAGANAL 2" HT. J-BOX HOUSING W/ SURFACE DOWNLIGHT; 4.75" DIAMETER, 9/16" DEEP, WHITE, LED, 750LM, 3000K, WET LISTED
L9E	FRAMED CANOPY SOFFIT LIGHTS W/ EM PACK	DMF	DRD5S-4-R-07-9-30 / DRDH-N-JO-KH MV, 120V, NON DIM W/ EM PACK	USED ONLY FOR APPLICATIONS REQUIRING SURFACE CEILING MOUNTED LIGHTS. RECESSED OCTAGANAL 2" HT. J-BOX HOUSING W/ SURFACE DOWNLIGHT; 4.75" DIAMETER, 9/16" DEEP, WHITE, LED, 750LM, 3000K, WET LISTED; W/ REMOTE EM PACK AND REMOTE EM TEST BUTTON. USED FOR EXTERIOR EM CANOPY USE
P	POLE LIGHTING - SINGLE	NLS	NV-1-T4-64LSP-1-40K-UNV-ASA-BRZ OR T4-48, IF 156W NEEDED. ADD "FSIR-100" FOR CALIFORNIA (4-24) OR WHERE MOTION SENSORS REQUIRED PER CODE OR SIMPLY DESIRED. ADD HSS IF HOUSE SIDE SHIELD IS REQUIRED. POLE IS NLS SSP17-4S-11G-9BC-SGL-BRZ-34 30-CL, MV	SITE POLE HEAD, LED, 205W, 23000LM, (OR 156W, 19000LM, IF LOWER WATTAGE REQUIRED), 4000K, DARK BRONZE, TYPE IV DISTRIBUTION, W/ 17'-6" POLE (VERIFY FOR EACH SITE), 4" SQUARE STRAIGHT 11GA STEEL, INCLUDES ANCHOR BOLTS, DARK BRONZE, BOLTS 12" BOLT CIRCLE 3/4" DIA. x 30" LONG. VERIFY PER LOCAL REQUIREMENTS PRIOR TO ORDERING - POLE LENGTH, WATTAGE/LUMENS, KELVIN LIGHT TEMPERATURE, TYPE DISTRIBUTION, MOUNTING CONFIGURATION - SINGLE/DOUBLE AND COLOR. HEAD BRACKET HOLES ARE FACTORY PRE-DRILLED GIVEN AVAILABLE LEAD TIME. CUT AND DRILL IN FIELD IF REQUIRE SHORTENED, VERIFY HEIGHT AND COLOR WHEN ORDERING
P2	POLE LIGHTING - DOUBLE	NLS	SAME AS TYPE P - 2 HEADS @ 180"	
P4	POLE LIGHTING - QUAD	NLS	SAME AS TYPE P - 4 HEADS @ 90"	
X	EXIT SIGN	BEST	EZXTEU2RWEM MV, NON DIM, 4W	EXIT, SELF POWERED, SINGLE/DOUBLE FACE, UNIVERSAL MOUNT, LED, RED ON WHITE, VERIFY COLORS
EXM	EXIT SIGN W/ HEADS	BEST	CXTEU-2-R-W MV, NON DIM, 12W (NOT USED ON EVERY LOCATION)	UNIVERSAL, SELF-POWERED, WHITE EXIT, RED ON WHITE/ EM COMBO W/ (2) 5.4W HEADS
EM	EMERGENCY LIGHT	BEST	LEDRX-5HL MV, NON DIM, 4W	EMERGENCY LIGHT, WHITE, BRIGHT (2) 1.7 W LED
CONT	SUPPLIED BY EC	-	-	CONTROLS. PANEL BASED CIRCUITING WITH TIMER CONTROL, PC CONTROL AND SENSORS WHERE REQUIRED BY CODE


PURCHASING: THE ABOVE LIGHTING MATERIAL IS TO BE PURCHASED AS A "LIGHTING PACKAGE" FROM DUTCH BROS COFFEE'S NATIONAL ACCOUNTS FROM THE REQUIRED LIGHTING VENDORS LISTED BELOW; MADE AVAILABLE TO FRANCHISEES AND THEIR CONTRACTORS AT ESTABLISHED DISCOUNTED PRICING. USED FROM NEGOTIATED STOCK INVENTORIED PRODUCT COMMITTED TO, AND OBLIGATED FOR USE BY DUTCH BROS COFFEE. FOR QUOTATION, ORDER PLACEMENT AND DELIVERY, IF ANYTHING OTHER THAT ABOVE IS INSTALLED WITHOUT EXPRESSED WRITTEN CONSENT BY DUTCH BROS COFFEE CORPORATE OFFICE AND THE FRANCHISEE, CONTRACTOR WILL BE REQUIRED TO REMOVE IT AND REPLACE IT WITH THE ABOVE.

REQUIRED LIGHTING VENDORS:


- IMPERIAL LIGHTING - KURT TOMASOVICH - 760-636-0762 - KURT@IMPERIAL-LIGHTING.COM
- GRAYBAR - DAVID (DAVE) ARINGTON - 817-213-0850 - DAVE.ARINGTON@GRAYBAR.COM
- VILLA LIGHTING SUPPLY - NICK BECKER - 314-478-3141 - NICK.BECKER@VILLALIGHTING.COM

PLUMBING SCHEDULE					
CONTRACTOR TO PROVIDE UNLESS NOTED OTHERWISE					
	ID TAG	FIXTURE DESCRIPTION	MANUFACTURER	MODEL	REMARKS
RESTROOM	P-1	LAVATORY TOILET	KOHLER	K-3619 CIMARRON	PROVIDED & INSTALLED BY: GC. COLOR: WHITE. NOTE: FLUSH CONTROLS LOCATED ON OPEN SIDE OF W.C.
	P-2	LAVATORY SINK	KOHLER	K-2032	INSTALL W/ ACCESSORIES TO MEET ADA REQUIREMENTS
		LAVATORY SINK FAUCET	DELTA	501LF-HGMHDF	
"WORKSTATION"	P-3	WATER FILTRATION SYSTEM	HEATHCO/ EVERPURE	PROJECT LOCATION SPECIFIC	CONTACT: TOM RUGGLES (714) 910-9805 FOR PROJECT SPECIFIC WATER FILTRATION SYSTEM.
	P-4	DIPPER WELL	FISHER	3041	PROVIDED & INSTALLED BY KES; INSTALLED IN STAINLESS STEEL TABLE; PROVIDE NON-FILTERED COLD WATER, DRAIN LINE TO FLOOR SINK BELOW
	P-5	RAPID RINSE STATION	BLENDTEC	JRE-610	PROVIDED & INSTALLED BY KES; PROVIDE NON-FILTERED COLD WATER IN STAINLESS STEEL TABLE, GRAINGER 3MRL4 RUBBER GROMMET FOR SUPPLY LINE.
	P-6	WATER HEATER - TANK	A.O. SMITH	DEN-52	PROVIDED & INSTALLED BY GC; ELECTRIC - 208V, 3PH, SIMULTANEOUS, 11 KW - HIGH RECOVERY RATE
	P-7	HAND SINK	BK RESOURCES	BKHS-D-SS-SS	PROVIDED BY KES; INSTALLED BY GC; PROVIDED W/ SPLASH GUARDS BOTH SIDES; PROVIDE NON-FILTERED WATER CONNECTIONS
		HAND SINK FAUCET	FISHER	53872	
P-8	3-COMP SINK		BK RESOURCES	BKS-3-1416-12-12TS	PROVIDED BY KES; INSTALLED BY GC; 1.5" DRAIN; TIE ALL DRAINS TOGETHER AND ROUTE TO NEAREST FLOOR SINK. LEVEL FRONT TO BACK AND SIDE TO SIDE AND CAULK TO WALL WITH CLEAR SILICONE; PROVIDE STRAINERS AND NON-FILTERED WATER CONNECTIONS
		3-COMP SINK FAUCET	FISHER	34371	
		LEVER WASTE DRAIN	FISHER	24090	
P-9	PULL-OUT SPRAYER HANDLE	T&S		MPZ-4DLN-06	PROVIDED BY KES; INSTALLED BY GC; ON STAINLESS STEEL TABLE @ DUMP SINK, 8" RISER & 6" SWING SPOUT; PROVIDE NON-FILTERED WATER CONNECTIONS
P-10	MOP SINK	ZURN	Z1996-24		PROVIDED & INSTALLED BY GC; COLOR: WHITE 10" WALLS, 3" DRAIN. MOP HANGER ABOVE.
	MOP SINK FAUCET	FIAT	830-AA		PROVIDED & INSTALLED BY GC; SERVICE FAUCET WITH VACUUM BREAKER, INTEGRAL STOPS AND HOSE WITH HOSE BRACKET
	MOP HANGER	ULINE	H-2841		PROVIDED & INTALLED BY KES; MOUNT AT 60" A.F.F., AT SIDE OF MOP SINK
P-11	FLOOR SINK	ZURN (BASIS OF DESIGN)	FD2375		PROVIDED & INSTALLED BY GC; 12"x12"x6" DEEP SQUARE, CAST IRON BODY; WHITE ACID RESISTING PORCELAIN ENAMEL INTERIOR COATING W/ BASKET STRAINERS & HALF-GRATES
P-12	FLOOR DRAIN	ZURN (BASIS OF DESIGN)	EZ-5		PROVIDED & INSTALLED BY GC; 5" ROUND FLOOR DRAIN
P-13	GREASE INTERCEPTOR	SCHIER (BASIS OF DESIGN)	GB-50		PROVIDED & INSTALLED BY GC; 50 GPM, BELOW-GRADE AT EXTERIOR, VENTED THROUGH BUILDING; PROVIDE CAST-IRON COVER. FINAL SIZE TO BE COORDINATED W/ SCHIER (MANUFACTURER) DUTCHBROS@SCHIERPRODUCTS.COM
P-14	ROOF DRAIN	ZURN (BASIS OF DESIGN)	Z165		PROVIDED & INSTALLED BY GC; COMBINATION MAIN AND OVERFLOW ROOF DRAIN.
	DOWNSPOUT NOZZLE	ZURN (BASIS OF DESIGN)	Z199		PROVIDED & INSTALLED BY GC; NO-HUB DOWNSPOUT NOZZLE, 18" A.F.F., NICKEL BRONZE BODY
P-15	WALL HYDRANT - BLDG	WATTS	HY-420		PROVIDED & INSTALLED BY GC; 6" NON-FREEZE WALL HYDRANT, MOUNT AT 24" A.F.F AT REAR ELEVATION.
P-16	YARD HYDRANT - TRASH ENCLOSURE	WATTS	HY-800		PROVIDED & INSTALLED BY GC; FROST PROOF, 2FT. BURY DEPTH
P-17	RECIRCULATION PUMP	TACO	0010		PROVIDED & INSTALLED BY GC; 115V, 3,250 RPM, PROVIDE W/ AQUATSTAT AND/ OR TIMER
P-18	BOOSTER PUMP	AQUAVAR	1151AB25HM03		PROVIDED & INSTALLED BY GC; 115V, 30 GPM @ 35 PSI BOOST, 1 HP VARIABLE SPEED CONTROLLER; PROVIDE ALL NECESSARY VALVES AND ACCESSORIES RECOMMENDED BY MFR. FOR A COMPLETE SYSTEM.
P-19	BACKFLOW PREVENTER	WATTS	LF009		PROVIDED & INSTALLED BY GC; MOUNT ABOVE MOP SINK; ROUTE RELIEF PIPES TO DISCHARGE INDIRECTLY TO MOP SINK.
P-20	FLOOR TROUGH	REGENCY	600FT1846SS		PROVIDED & INSTALLED BY GC; 14 ga., TYPE 304 STAINLESS STEEL CONSTRUCTION; INCLUDES REMOVABLE STRAINER; LOCATED AT ICE MACHINE/ BIN
P-21	FILTRATION SYSTEM THERMOSTATIC MIXING VALVE	ACORN CONTROLS	ET71-1		PROVIDE FOR WATER FILTRATIONS SYSTEMS IN CLIMATE ZONES 4-8
RESTROOM ACCESSORIES					
	PA-51	ADA GRAB BAR	BOBRICK	B-5806	PROVIDED & INSTALLED BY GC; SIZE DEPENDANT ON INSTALLATION LOCATION
	PA-52	MIRROR	BOBRICK	B-165-1836	PROVIDED & INSTALLED BY GC; MOUNTED W/ BOTTOM OF REFLECTIVE SURFACE AT 40" MAX A.F.F.
	PA-61	SOAP DISPENSER	TORK	466100	PROVIDED BY DBC PARTS; INSTALLED BY KES
	PA-62	TOILET PAPER DISPENSER	TORK	59TR	
	PA-63	PAPER TOWEL DISPENSER	ULINE	H-7556	
	PA-64	SANITARY NAPKIN DISPOSAL	BOBRICK	B-254	PROVIDED & INSTALLED BY G.C.
	PA-65	TOILET SEAT COVER DISPENSER	BOBRICK	B-221	PROVIDED BY DBC PARTS; INSTALLED BY KES





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 8828 N. STEMMONS FREEWAY
 SUITE 500
 DALLAS, TX 75247
 TEL: 214-922-8012
 PROJECT NUMBER: 2235056



02/20/2022

Project No: TX6402

Dutch Bros Coffee - New Freestanding Store
 1123 SE Military Dr
 San Antonio, TX 78214
 for: Dutch Bros Coffee
 110 SW 4th St.
 Grants Pass, OR 97526

ISSUED FOR PERMIT REVIEW AND CONSTRUCTION: 02.20.2023

REV:	DATE:	DESCRIPTION:

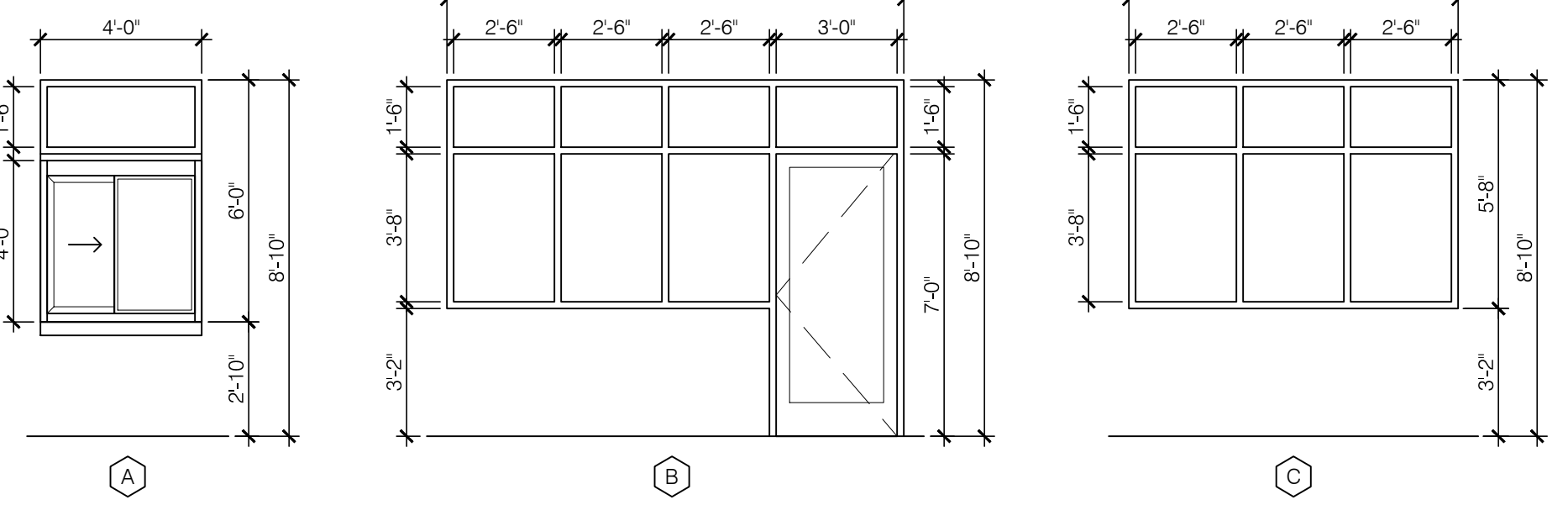
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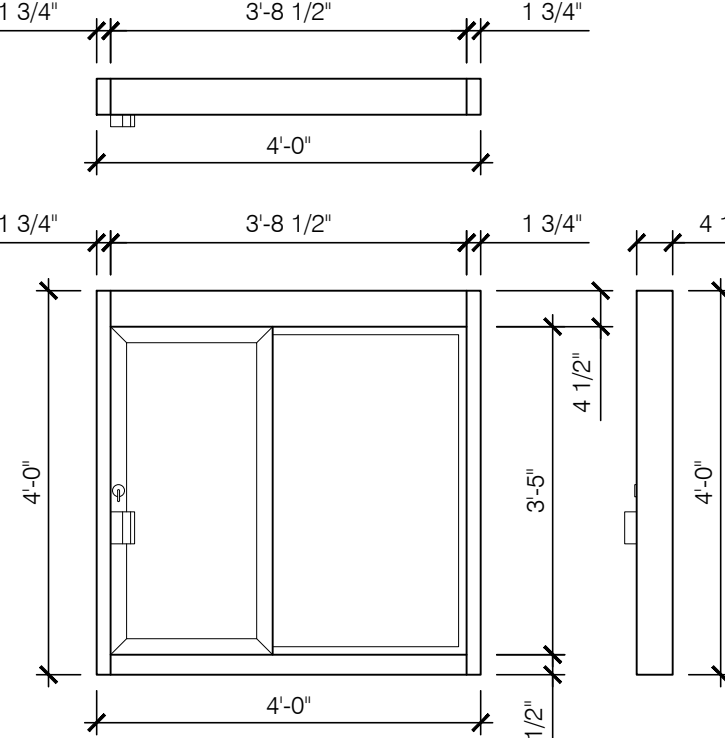
IT/ LIGHTING/ PLUMBING/ TABLE SCHEDULES

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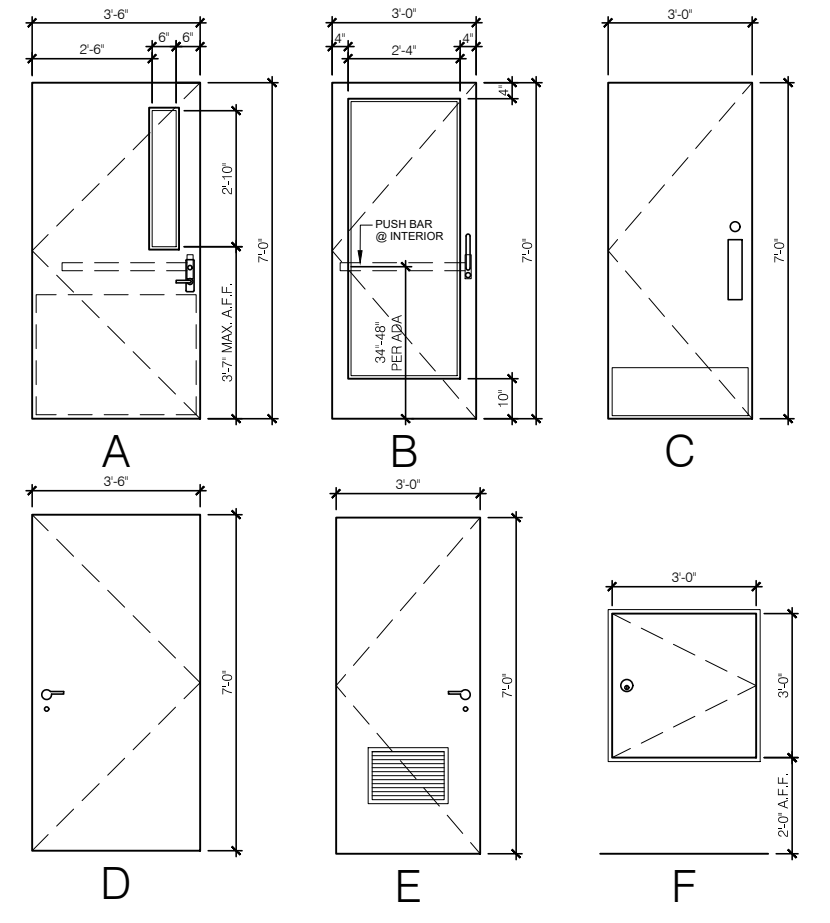
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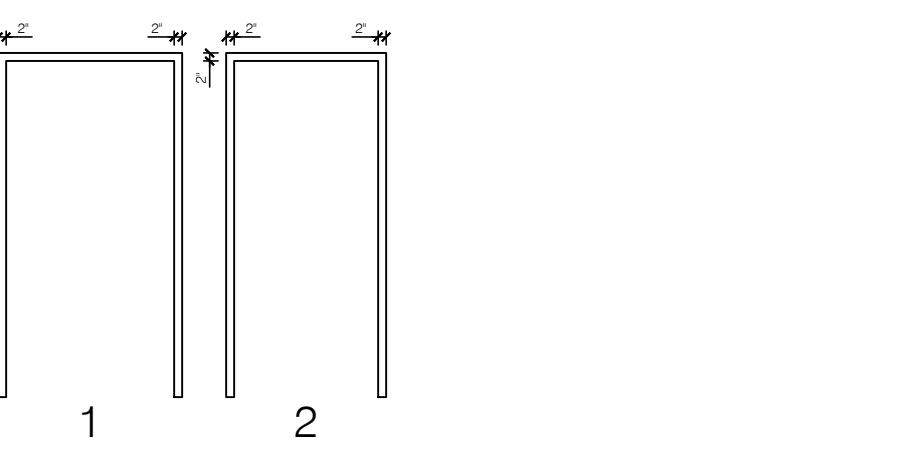
WINDOW SCHEDULE	
	
NOTES: - U-FACTOR - FIXED: 0.38 - U-FACTOR - OPERABLE: 0.48 - STOREFRONT SYSTEMS SHALL HAVE A CLEAR ANODIZED ALUMINUM FACTORY FINISH - PROVIDE IMPACT GLASS (HURRICANE GLASS OR SIM.), SEE SPECS.	

	
QUICK-SERV - IFSC-4040 (LEFT & RIGHT - MANUAL OPEN, SELF-CLOSING) NOTES: - ROUGH OPENING: 48-3/8"(W) x 48-3/8"(H) - ACTUAL DIMENSIONS: 48"(W) x 48"(H) - SERVICE OPENING: 20-1/4"(W) x 41"(H)	
DRIVE-THRU WINDOW DETAIL QUICKSERV IFSC-4040 SCALE: 1/2" = 1'-0"	

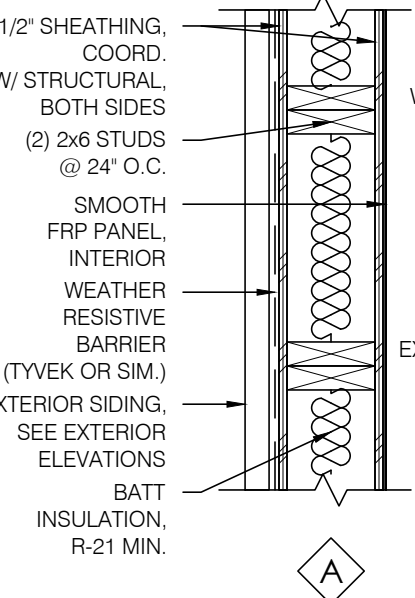
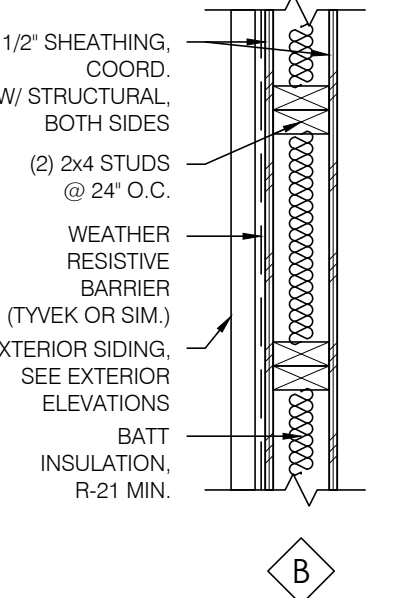
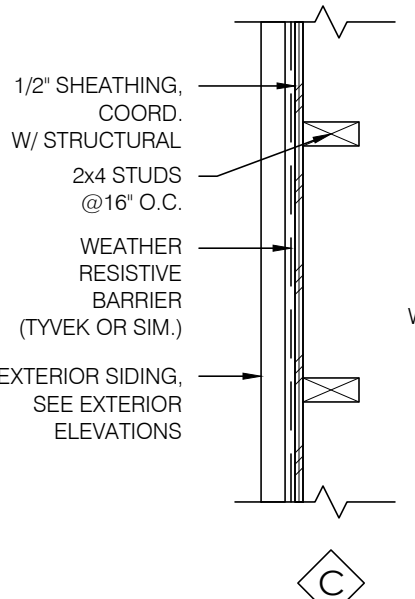
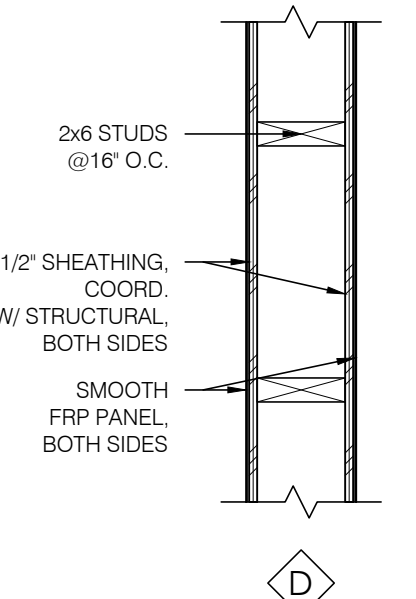
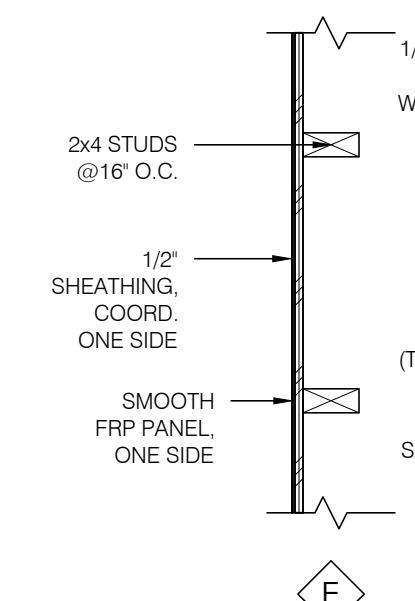
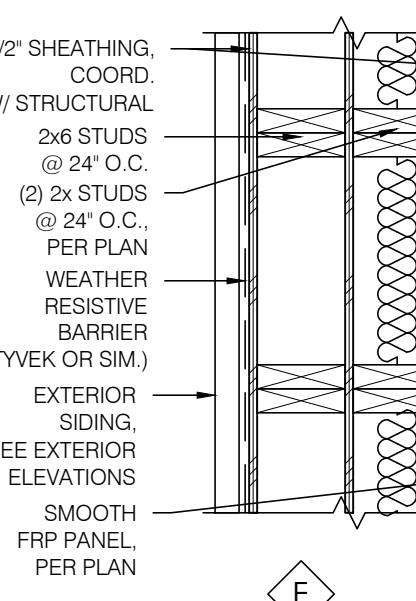
DOOR NOTES	
1. THIS PLAN IS ISSUED SO THAT THE CONTRACTOR CAN MAINTAIN FULL COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE FOR WHEELCHAIR MANEUVERABILITY AT DOORS. THIS DETAIL INDICATES PARTIAL REQUIREMENTS OF THE CODE. IT IS ADVISED THAT THE CONTRACTOR OBTAIN A COMPLETE COPY OF THESE CODES FOR REFERENCE.	
2. THE DIMENSIONS SHOWN ARE CRITICAL FOR COMPLIANCE WITH THE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER CLEARANCES FOR WHEELCHAIR MANEUVERABILITY. IF CONFLICTS OCCUR, BRING TO DESIGNERS ATTENTION IMMEDIATELY.	
3. FOR FULL SWING DOORS A MINIMUM 2'-10" WIDE DOOR IS REQUIRED FOR CLEARANCE. FOR 90° SWING DOORS A MINIMUM 3'-0" WIDE DOOR IS REQUIRED FOR CLEARANCE.	
4. IN ORDER TO ACHIEVE THE REQUIRED 12" OR 18" MINIMUM CLEARANCES AT DOOR AND A MINIMUM PASSAGE WIDTH, THE DOOR FRAME AT HINGE SIDE MAY HAVE TO BE AGAINST THE ADJACENT WALL.	
5. THE MAXIMUM EFFORT FOR BOTH INTERIOR AND EXTERIOR DOORS IS 5 LBS. CLOSING SPEED IS 5 SEC MIN. FROM 90° TO 12°.	
6. 1/2" MAXIMUM HIGH THRESHOLD (ABOVE FLOOR AND LANDING ON BOTH SIDES) AT BUILDING ENTRANCES AND ALL DOORS.	
7. DOOR HARDWARE AT ALL EXIT DOORS TO ALLOW DOORS TO BE OPENED FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR EFFORT PER APPROPRIATE CODE.	
8. SIGNAGE FOR ONLY MAIN ENTRY DOORS ALLOWED TO HAVE KEY LOCKING DEVICES TO STATE, "THIS DOOR TO REMAIN UNLOCKED WHEN SPACE IS OCCUPIED." ON A HIGH CONTRAST BACKGROUND.	
9. 10" HIGH KICK PLATE AT BOTTOM OF GLAZED AND STOREFRONT DOORS.	
10. ALL DOORS EQUIPPED WITH SINGLE-EFFORT, NON-GRASPING TYPE HARDWARE BETWEEN 34" MIN. AND 44" MAX. ABOVE THE FINISHED FLOOR.	
11. WIDTH OF DOORS TO BE A MINIMUM OF 36" TO PROVIDE REQUIRED 32" NET CLEARANCE WIDTH BETWEEN THE FACE OF THE DOOR AND THE JAMB.	
12. ALL DOORS TO BE KEYPED ALIKE, GC TO PROVIDE A TOTAL OF 6 KEYS.	

DOOR SCHEDULE									
#	SIZE		TYPE		GLASS	MATERIAL		HARDWARE	NOTES:
	WIDTH	HEIGHT	DR.	FR.		DR.	FR.		
01	3'-6"	7'-0"	A	1	TEMP.	HM	HMD	GROUP 1	A,B,C,D,E,F
02	3'-0"	7'-0"	B	2	TEMP.	STOREFRONT		GROUP 2	A,C,D,E,F
03	3'-0"	7'-0"	C	2	-	HM	HMD	GROUP 3	B,D,F
04	3'-6"	7'-0"	D	1	-	HM	HMD	GROUP 4	B
05	3'-0"	7'-0"	E	2	-	HM	HMD	GROUP 5	B
06	3'-0"	3'-0"	F	MFR	-	MFR		GROUP 6	SEE SHEET A4.0 FOR LOCATION
NOTES:									
HM: HOLLOW METAL, 16 GA.									
HMD: HOLLOW METAL WELDED & DIMPLED									
A	ENSURE EMERGENCY HARDWARE IS IN WORKING CONDITION.								
B	DOOR & FRAME SHALL BE PAINT GRADE & PAINTED PT-2								
C	DOOR TO HAVE SIGN POSTED ABOVE THAT STATES: "THIS DOOR TO REMAIN UNLOCKED WHILE SPACE IS OCCUPIED."								
D	CLOSER SHALL BE BOLTED THROUGH DOOR LEAF & ARM MOUNTED USING HEAD-JAMB MOUNT.								
E	PROVIDE ADA COMPLIANT THRESHOLD SET IN SILICONE SEALANT.								
F	THE MAX PULL/ PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. W/ EFFORT APPLIED TO RIGHT ANGLES TO HINGED DOORS.								

DOOR TYPE SCHEDULE	
	
NOTES: 1 REFERENCE DOOR SCHEDULE FOR SIZES AND MATERIALS (TYP.) 2 DOOR HARDWARE, CLOSERS, KICKPLATES, PANIC HARDWARE AND THRESHOLDS SHALL BE LOCATED AND INSTALLED PER ACCESSIBILITY AND LOCAL REQUIREMENTS.	

DOOR FRAME TYPE SCHEDULE	
	
NOTES: 1 REFERENCE DOOR SCHEDULE FOR SIZES AND MATERIALS (TYP.)	

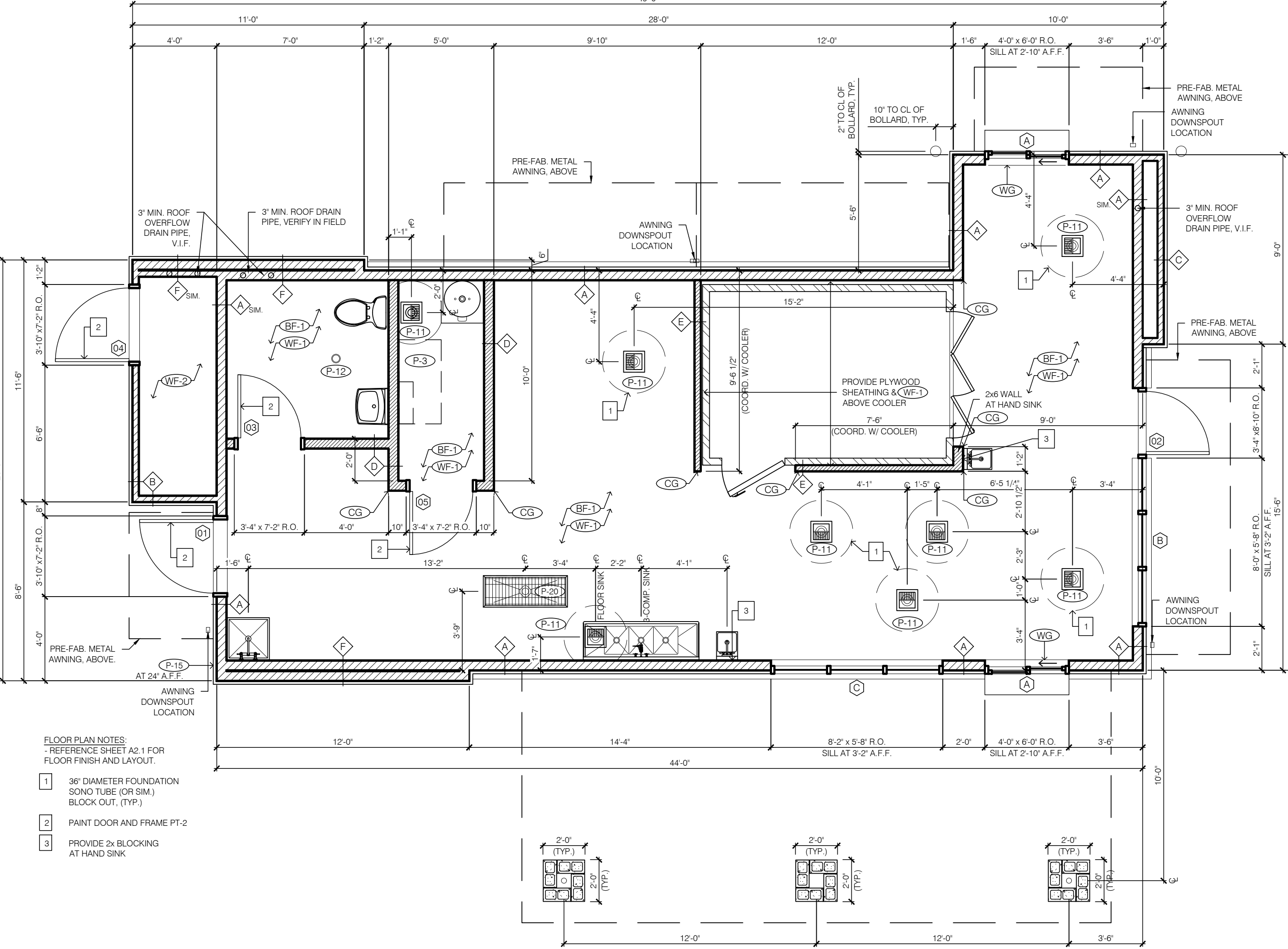
HARDWARE GROUPS:	
GROUP 1: 1 EA. HINGE - MARKAR, FM300, 84" 1 EA. LOCKSET - TRILOGY, T2 ETDL2700, WATERPROOF, US26D 1 EA. PANIC PUSH HARDWARE - VON DUPRIN 99, 626 1 EA. DOOR CLOSER - SARGENT 1431 RUO EN, US26D 1 EA. THRESHOLD - PEMKO 2716A 1 EA. DOOR SHOE - PEMKO 211APK 1 EA. DOOR SEAL - PEMKO AM898BL 1 EA. FLOOR STOP & HOLDER - VES FS43, US26D 1 EA. KICK PLATE - HAGER 190S, 40"x30", INTERIOR, US32D	GROUP 2: 1 EA. HINGE - MARKAR, FM300, 84" 1 EA. LOCKSET - TRILOGY, T2 ETDL2700, WATERPROOF, US26D 1 EA. PANIC PUSH HARDWARE - VON DUPRIN 99, 626 1 EA. DOOR CLOSER - SARGENT 1431 RUO EN, US26D 1 EA. THRESHOLD - PEMKO 2716A 1 EA. DOOR SHOE - PEMKO 211APK 1 EA. DOOR SEAL - PEMKO AM898BL 1 EA. FLOOR STOP & HOLDER - VES FS43, US26D 1 EA. KICK PLATE - HAGER 190S, 34"x12", INTERIOR, US32D
GROUP 3: 3 EA. HINGES - MCKINNEY T2714 4.5x4.5 NRP, US26D 1 EA. DEADBOLT - SCHLAGE B571 INDICATOR, 626 1 EA. PUSH PLATE - VES, 8303, 6"x16", US26D 1 EA. HANDLE PULL - VES, 8303, 6"x16", US26D 1 EA. DOOR CLOSER - SARGENT 1431 RUO EN, US26D 1 EA. KICK PLATE - HAGER 190S, 34"x12", US32D FINISH	GROUP 4: 3 EA. HINGES - MCKINNEY T2714 4.5 X 4.5 NRP, US26D 1 EA. LOCKSET - SCHLAGE L9453 ENTRANCE LOCK SCHLAGE 06 STANDARD HANDLE SATIN FINISH FULL FACE, ESCUTCHLEON L583-363 EZ TURN 1 EA. LATCH GUARD - STAINLESS STEEL, 7" 1 EA. THRESHOLD - PEMKO 175A-72 1 EA. DOOR SHOE - PEMKO 211APK 1 EA. DOOR SEAL - PEMKO AM898BL 1 EA. KICK DOWN - VES FS555 5", BLK FINISH
GROUP 5: 3 EA. HINGES - MCKINNEY T2714 4.5 X 4.5 NRP, US26D 1 EA. LOCKSET - SCHLAGE L9453 ENTRANCE LOCK SCHLAGE 06 STANDARD HANDLE SATIN FINISH FULL FACE, ESCUTCHLEON L583-363 EZ TURN 1 EA. DOOR VENT - ROCKWOOD, LV-1Y, 24"x12" 1 EA. KICK DOWN - VES FS555 5" BLK FINISH	GROUP 6: JL INDUSTRIES - EXTERIOR FLUSH ACCESS PANEL XPA-3636H-W-R 36"x36" ACCESS PANEL, W/ REMOVABLE FLUSH LOCKING HANDLE, WHITE, W/ RAINHOOD


	
	
	

FINISH SCHEDULE				
TAG	FIN. DESCRIPTION	MFR.	MODEL	REMARKS
FLOOR				
FF-1	FLOOR TILE - TEXTURED	BEDROSIANS	6"x6" DOTTI DIAMOND - ANTHRACITE R12 - MATTE	PRODUCTION AREA FIELD TILE
FF-2	FLOOR TILE - SMOOTH	BEDROSIANS	6"x6" DOTTI - ANTHRACITE R9 - MATTE	UNDER EQUIPMENT TILE
TILE SUBSTRATE	WATERPROOFING	LATICRETE	HYDRO BAN WATERPROOF/ ANTIFRACTURE	AS NEEDED
	BOND COAT	LATICRETE	4-XLT GRAY	
	EPOXY GROUT	LATICRETE	IG 2000 IND. EPOXY GROUT #2 KIT BLACK	
	CAULKING	LATICRETE	LATASIL CAULKING	
FF-3	CONC. SLAB	-	-	LIGHT BROOM FINISH
BASE				
BF-1	WALL BASE - COVE	BEDROSIANS	4"x8" SMOOTH COVE - ANTHRACITE - RADIUS: 29/64"	SANITARY COVE & OUTSIDE CORNERS INSIDE CORNERS TO BE FIELD MITERED
WALL				
WF-1	(FRP) FIBERGLASS REINFORCED PANEL	MARLITE	S 100G - 4'x10' PANELS	COLOR: WHITE; PROVIDE ALL NECESSARY TRIM PIECES
WF-2	1/2" CDX	-	-	COLOR: PT-4
GUARDS				
CG	CORNER GUARD	KES	CUSTOM - STAINLESS STEEL	120" LONG W/ 2" WINGS, DRILLED, 90 DEGREE SHARP CORNER, BRUSHED FINISH
WG	WALL GUARD	KES	CUSTOM - STAINLESS STEEL	48" WIDE, WRAP FROM SERVICE WINDOW SIL TO TOP OF COVE BASE, BRUSHED FINISH
CEILING				
CLG-1	VINYL FACED ACT	USG	3260 - SHEETROCK BRAND LAY-IN CEILING PANEL	FLAT WHITE, SMOOTH
CLG-2	FRP OVER 1/2" CDX	MARLITE	S 100G - 4'x10' PANELS	COLOR: WHITE; PROVIDE ALL NECESSARY TRIM PIECES; PROVIDE ADHESIVE AND PAN HEAD SCREWS AT 24" O.C., E.W.
CLG-3	1/2" CDX	-	-	COLOR: PT-4
PAINT				
PT-1	BLDG DB LIGHT GRAY	SHERWIN-WILLIAMS	PRODUCT: A89W00153	COLOR: 8656-12046-BLDG DB LIGHT GRAY
PT-2	BLDG DB DARK GRAY	SHERWIN-WILLIAMS	PRODUCT: A89T00154	COLOR: 8656-11295-BLDG DB DARK GRAY
PT-3	BLDG DB BLUE	SHERWIN-WILLIAMS	PRODUCT: A89T00154	COLOR: 8656-12045-BLDG DB BLUE
PT-4	-	SHERWIN-WILLIAMS	SW-7006 - EXTRA WHITE	SEMI-GLOSS FINISH


GENERAL NOTES:	
1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.	
2. G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.	
3. ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 803. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. FLAME SPREAD RATINGS: WALL TILE - CLASS A - <25 WALL PAINT - CLASS A - <5 PLASTIC LAMINATE - CLASS A - <25 FRP PANELS - CLASS A - <25 STAINLESS STEEL CORNER GUARDS - CLASS A - <25 CEILING TILE - CLASS A - <25	
4. FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 718.2 AT THE FOLLOWING LOCATIONS: a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. b. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL c. AT THE INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. d. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER STAIRS IS UNFINISHED. e. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILINGS AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.	

PARTITION KEY	
	NEW FULL HEIGHT INTERIOR PARTITION
	NEW EXTERIOR WALL CONSTRUCTION
	NEW PRE-FAB WALK-IN COOLER

	
FLOOR PLAN NOTES: - REFERENCE SHEET A2-1 FOR FLOOR FINISH AND LAYOUT. 1 36" DIAMETER FOUNDATION SOND TUBE (OR SIM.) BLOCK OUT, (TYP.) 2 PAINT DOOR AND FRAME PT-2 3 PROVIDE 2x BLOCKING AT HAND SINK	



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Dutch Bros Coffee - New Freestanding Store

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for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

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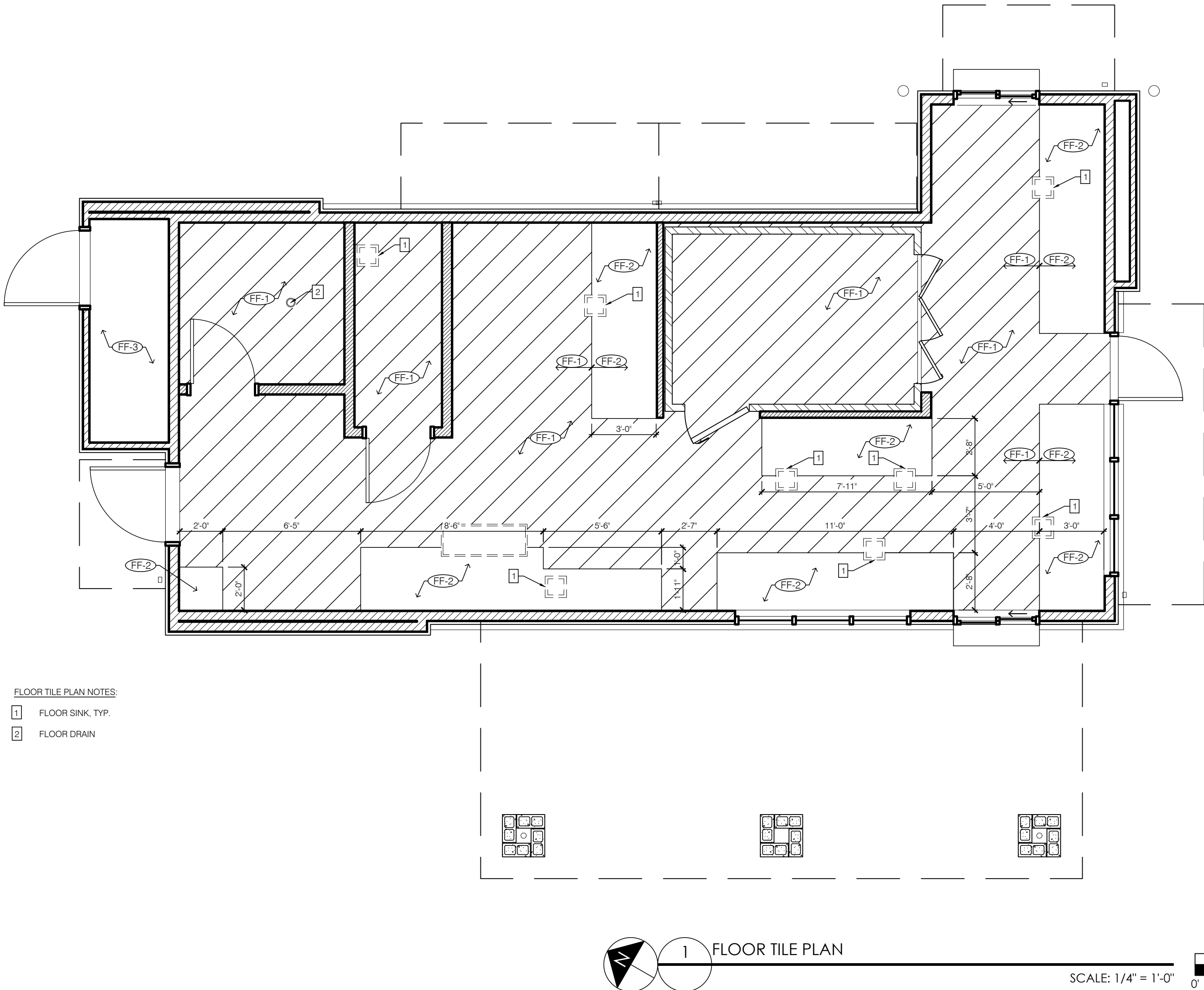
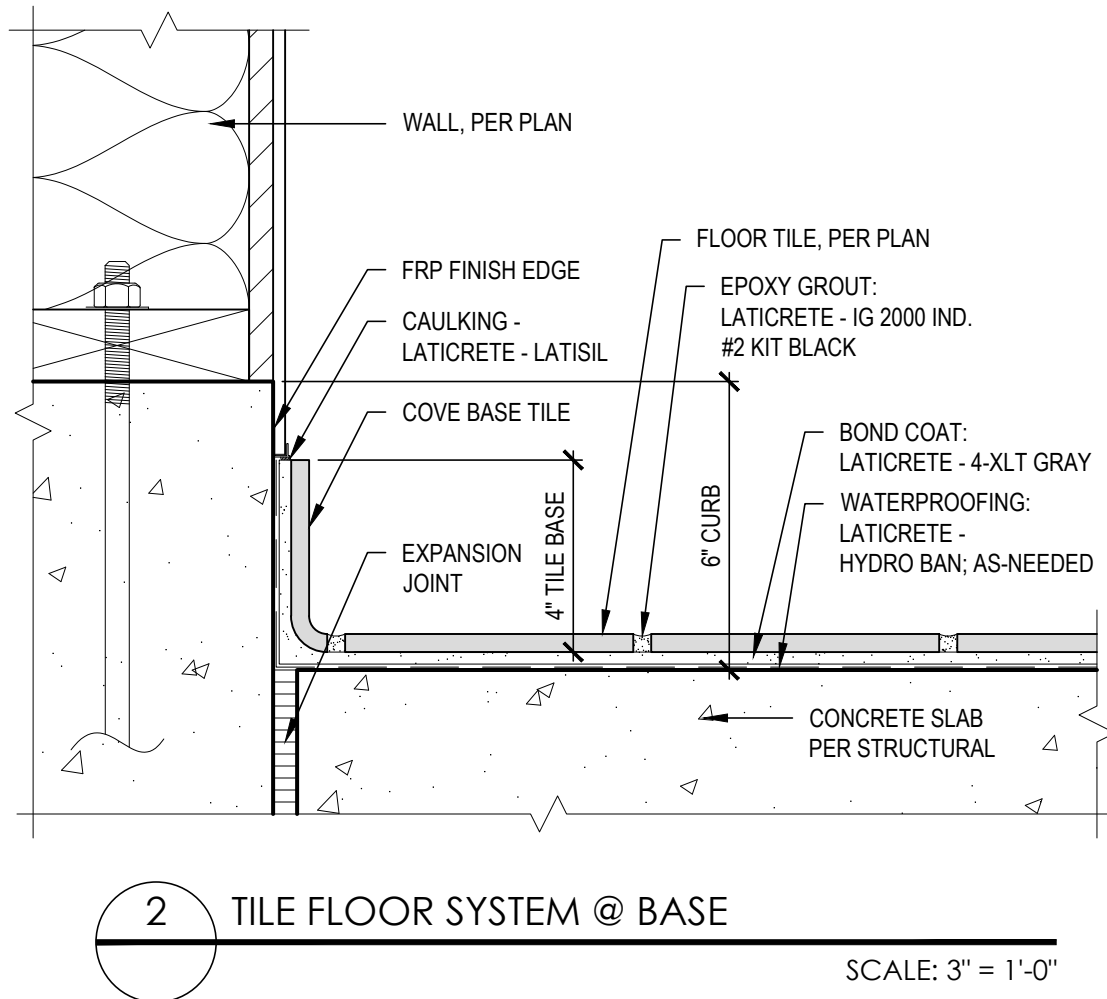
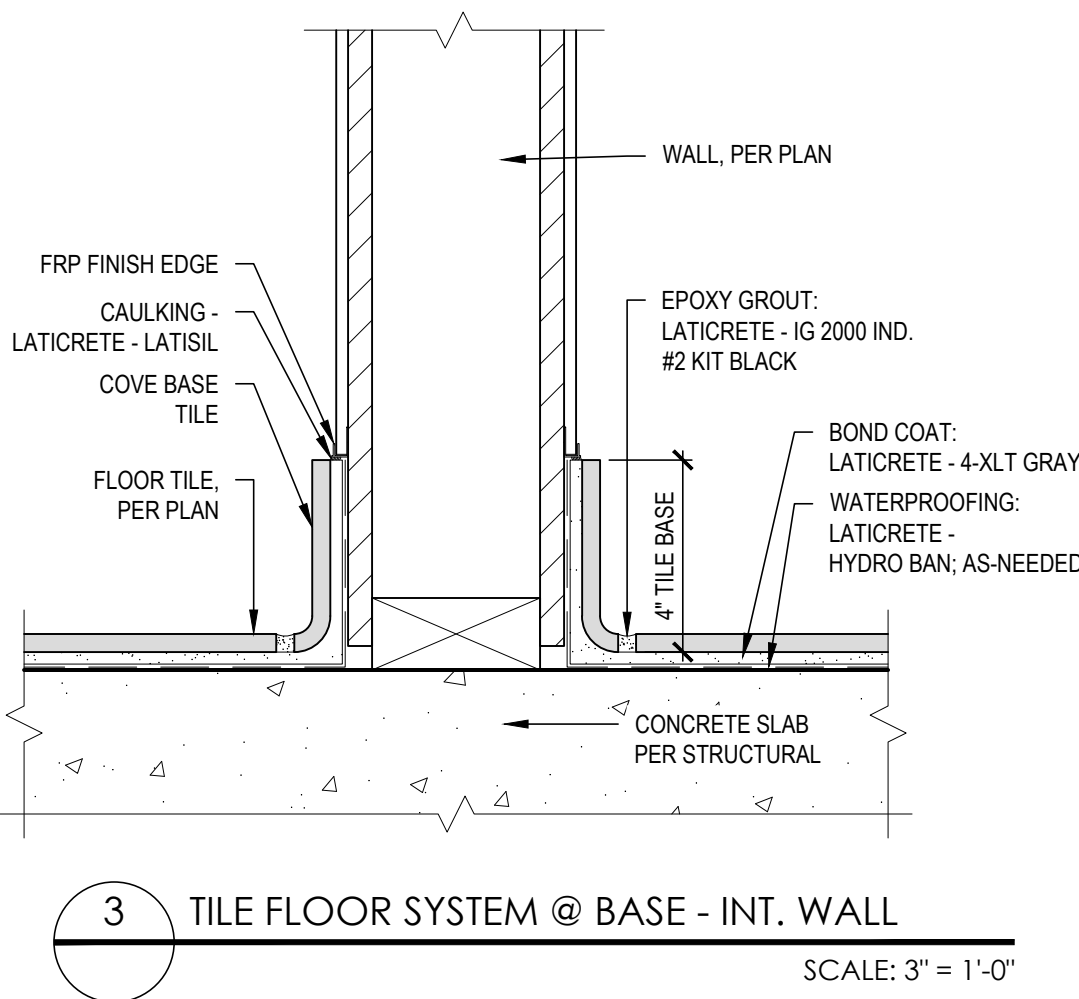
FLOOR PLAN/ DETAILS/ SCHEDULES

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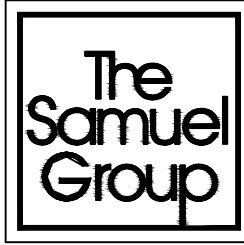
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FINISH SCHEDULE				
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FLOOR				
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FF-2	FLOOR TILE - SMOOTH	BEDROSIANS	6"x6" DOT1 - ANTHRACITE R9 - MATTE	UNDER EQUIPMENT TILE
TILE SUBSTRATE	WATERPROOFING	LATICRETE	HYDRO BAN WATERPROOF/ ANTIFRACTURE	AS NEEDED
	BOND COAT	LATICRETE	4-XLT GRAY	
	EPOXY GROUT	LATICRETE	IG 2000 IND. EPOXY GROUT #2 KIT BLACK	
	CAULKING	LATICRETE	LATASIL CAULKING	
FF-3	CONC. SLAB	-	-	LIGHT BROOM FINISH
BASE				
BF-1	WALL BASE - COVE	BEDROSIANS	4"x8" SMOOTH COVE - ANTHRACITE - RADIUS: 29/64"	SANITARY COVE & OUTSIDE CORNERS INSIDE CORNERS TO BE FIELD MITERED



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FLOOR TILE PLAN

SHEET NUMBER:

A2.1

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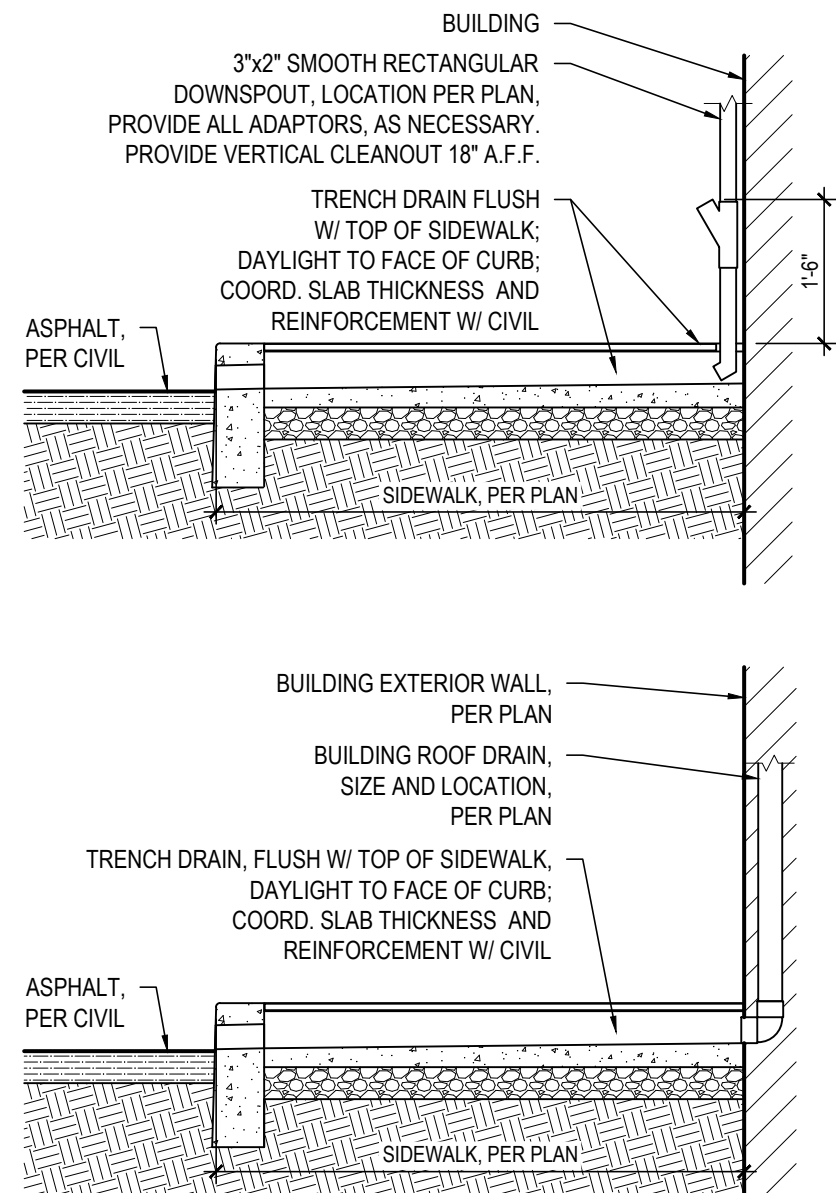
5 TYP. GRID BRACING

SCALE: 3" = 1'-0"

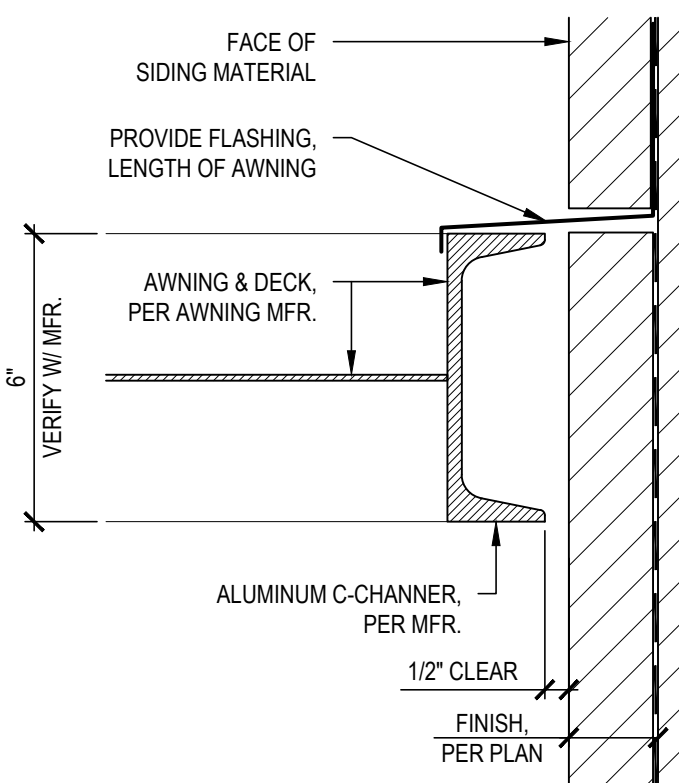


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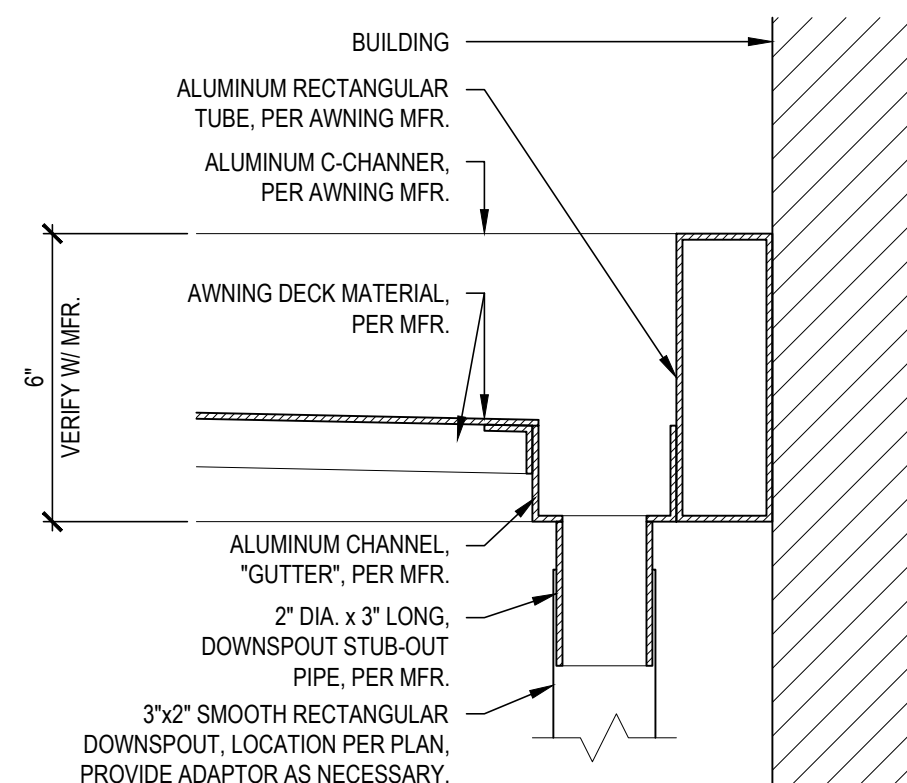
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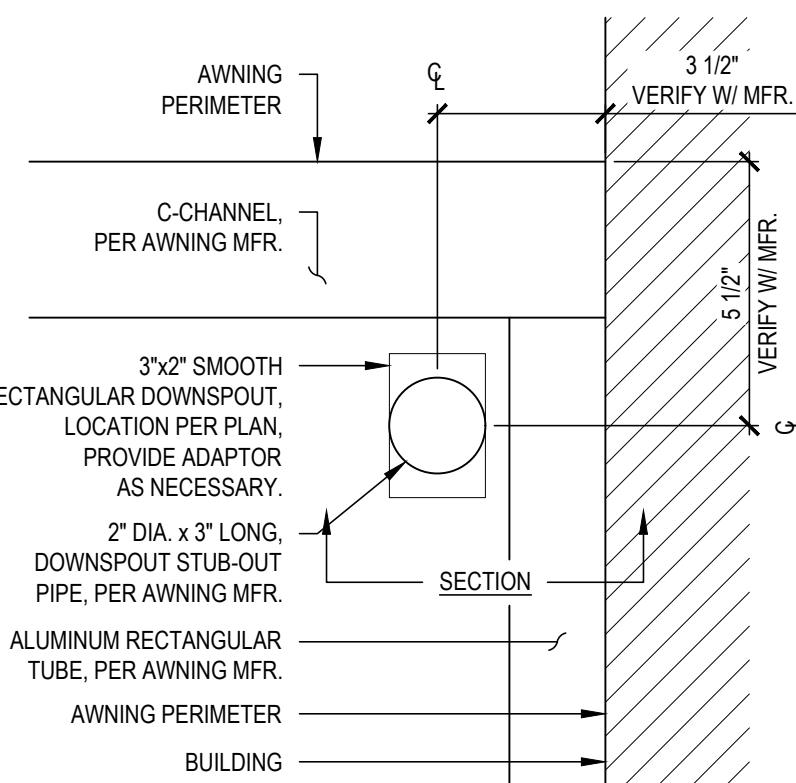
5 DOWNSPOUT DISCHARGE DETAILS, TYP.
SCALE: 1/2" = 1'-0"



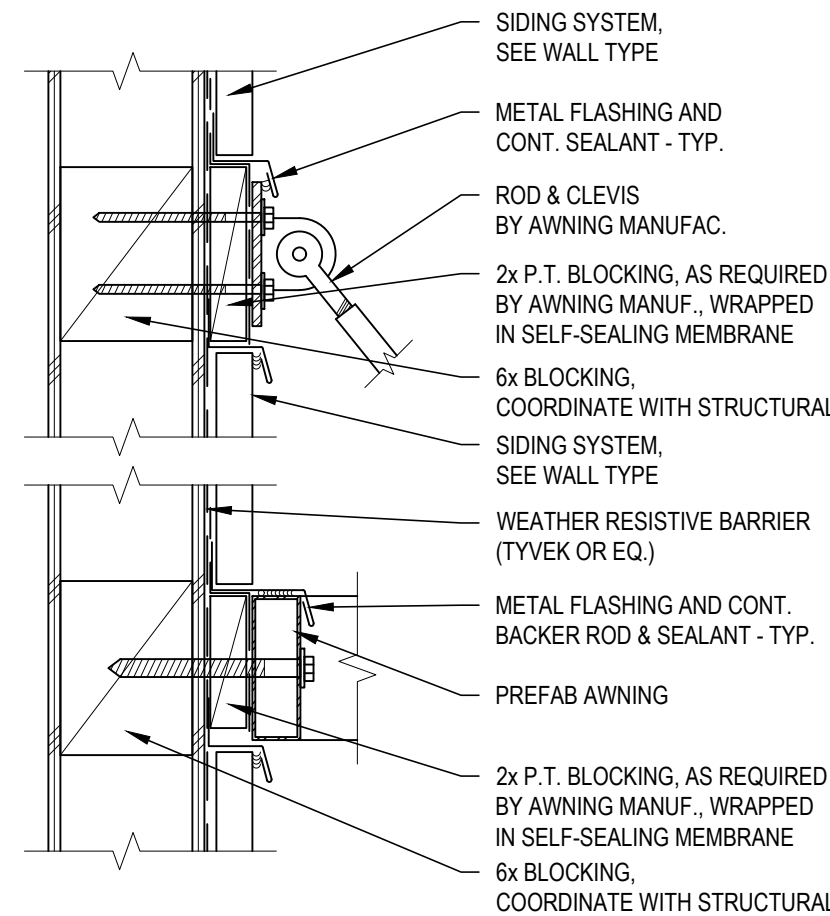
4 AWNING FLASHING AT TOWER DETAIL
SCALE: 3" = 1'-0"



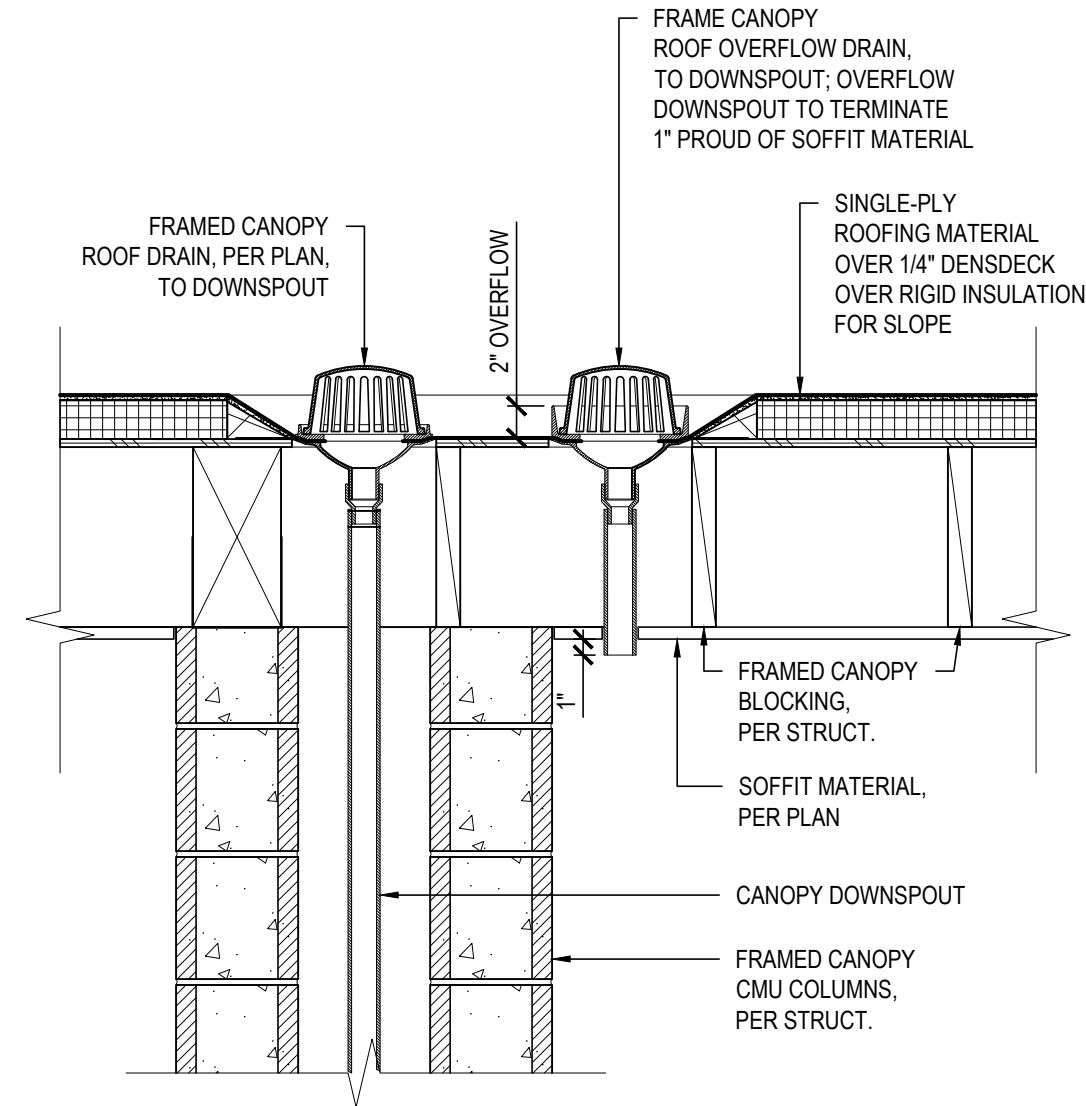
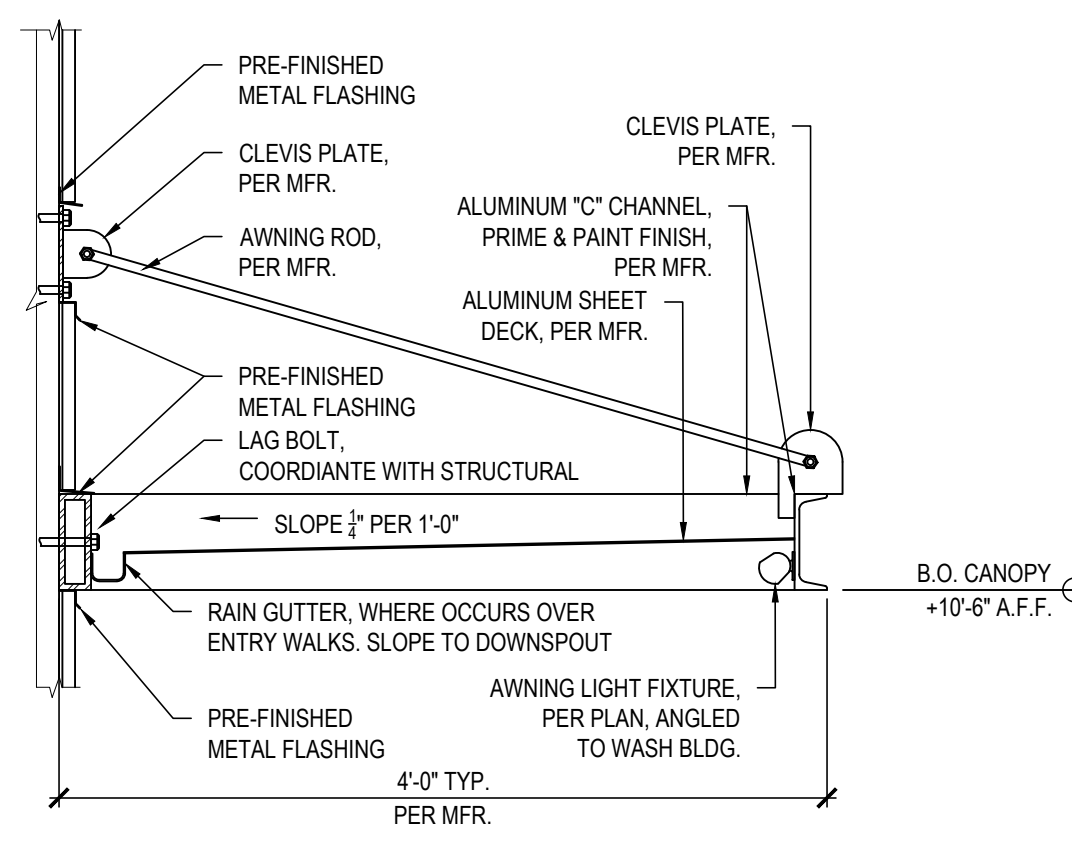
3 AWNING DOWNSPOUT DETAILS
SCALE: 3" = 1'-0"



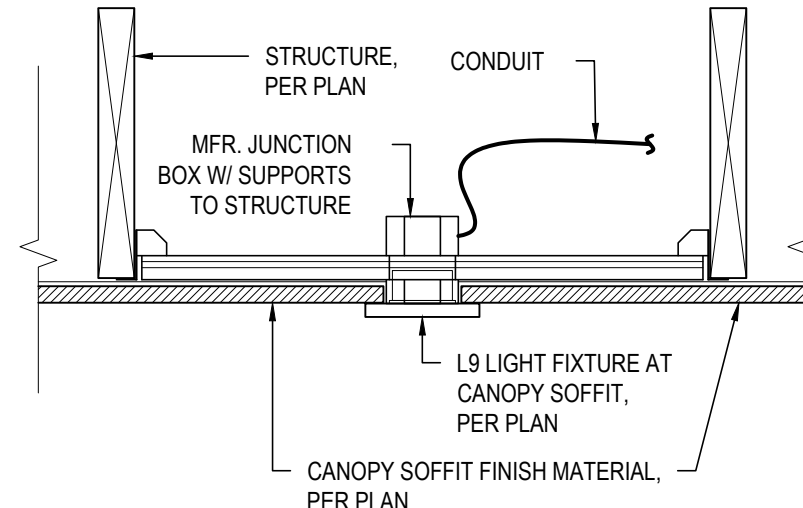
2 AWNING BLOCKING DETAIL
SCALE: 1 1/2" = 1'-0"



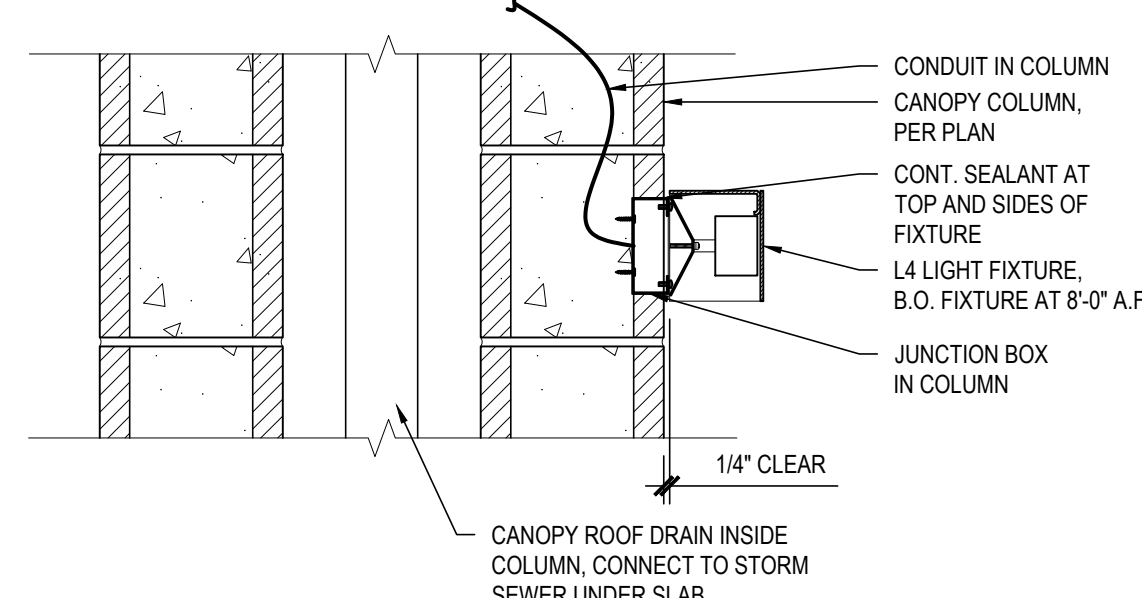
1 AWNING DETAIL
SCALE: 1" = 1'-0"



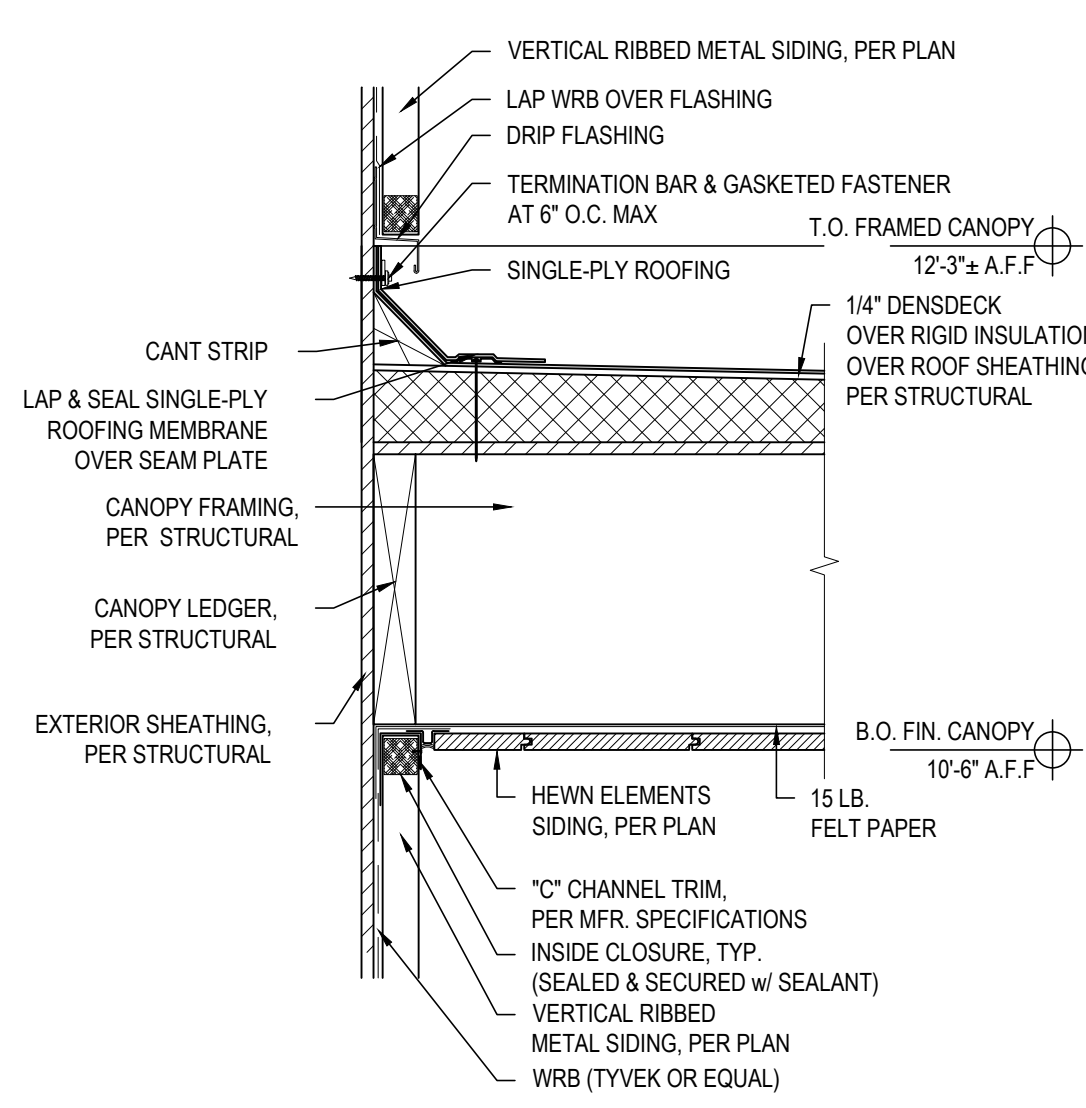
11 CANOPY DRAIN & OVERFLOW DETAIL
SCALE: 1" = 1'-0"



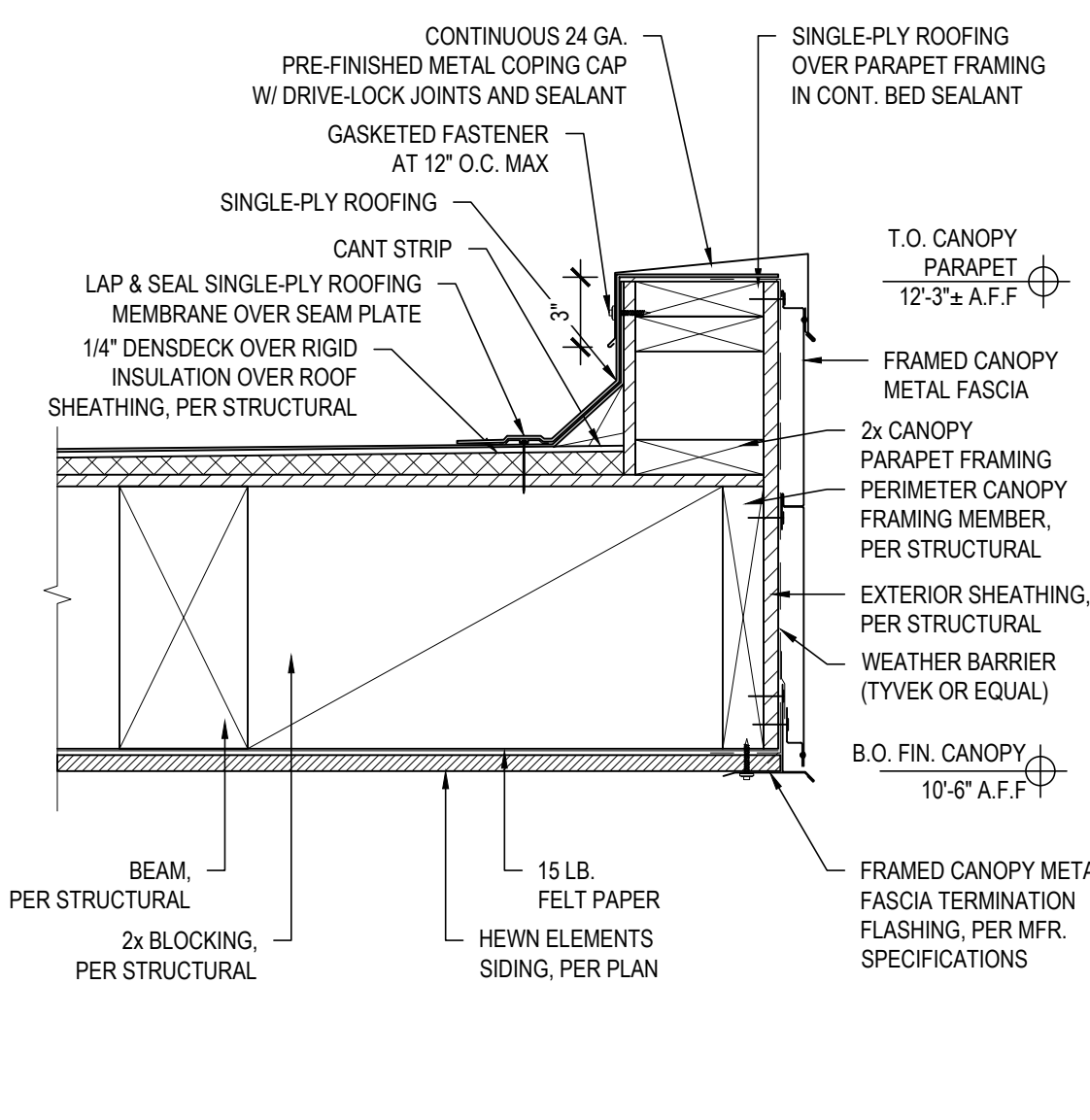
10 CANOPY SOFFIT LIGHT FIXTURE
SCALE: 1 1/2" = 1'-0"



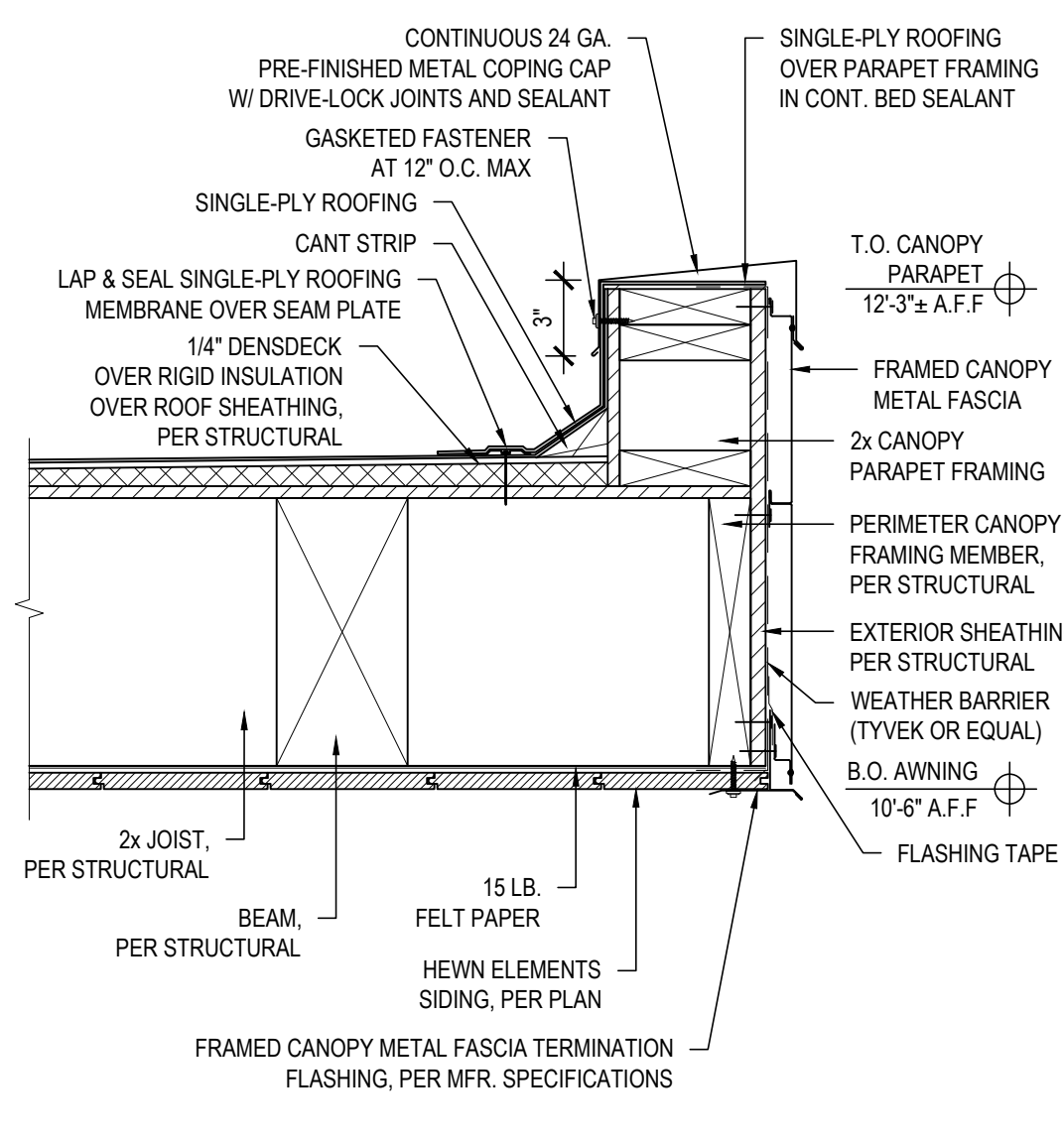
9 CANOPY COLUMN LIGHT FIXTURE
SCALE: 1 1/2" = 1'-0"



8 CANOPY LEDGER DETAIL
SCALE: 1 1/2" = 1'-0"



7 CANOPY FASCIA / SOFFIT DETAIL 2
SCALE: 1 1/2" = 1'-0"



6 CANOPY FASCIA / SOFFIT DETAIL 1
SCALE: 1 1/2" = 1'-0"



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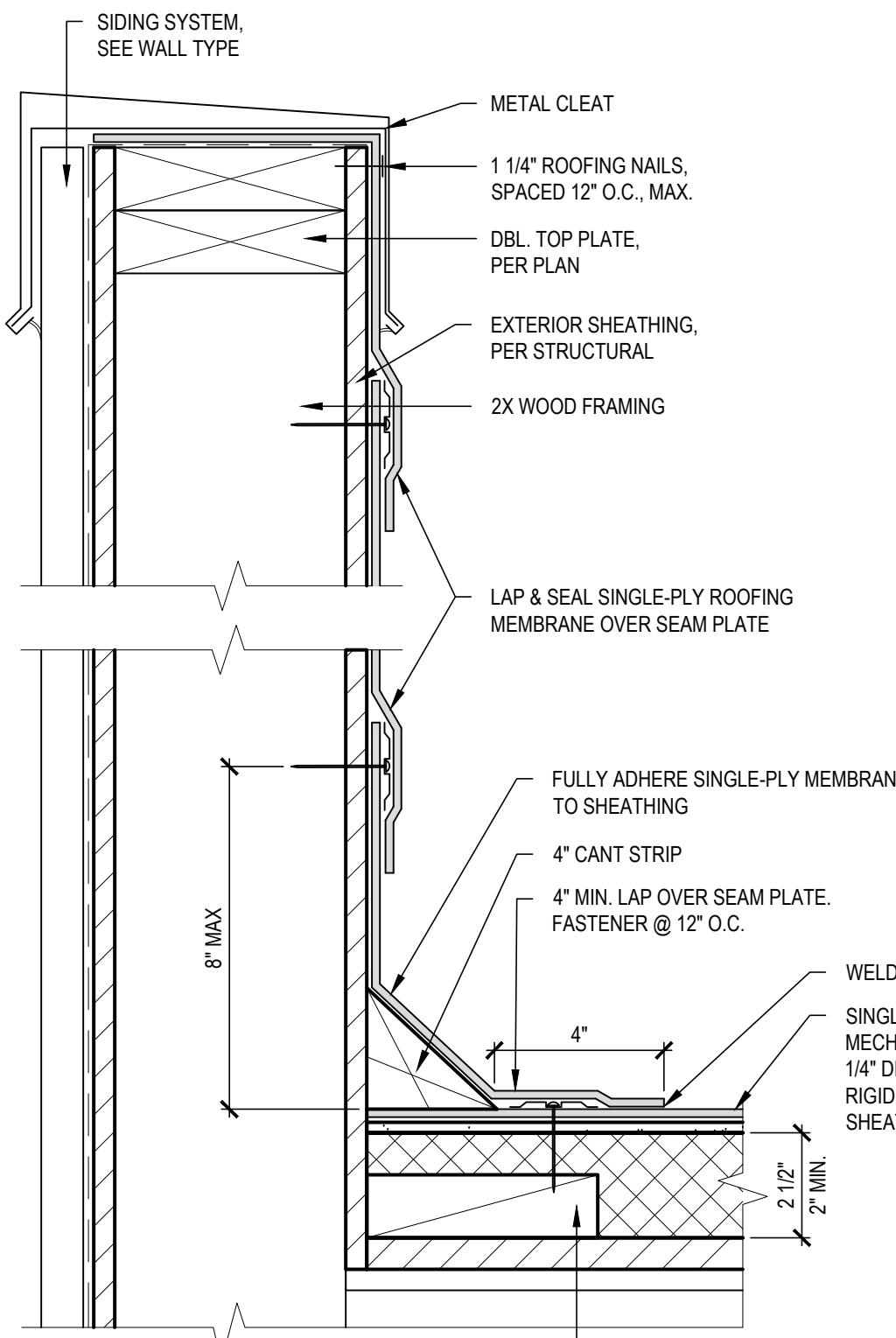
AWNING/ CANOPY
DETAILS

SHEET NUMBER:

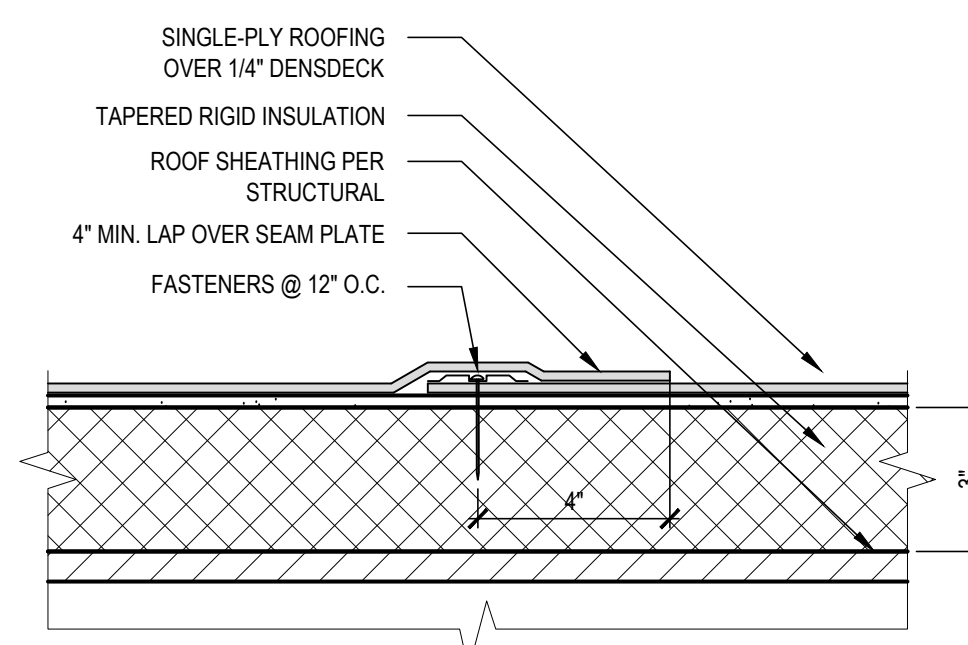
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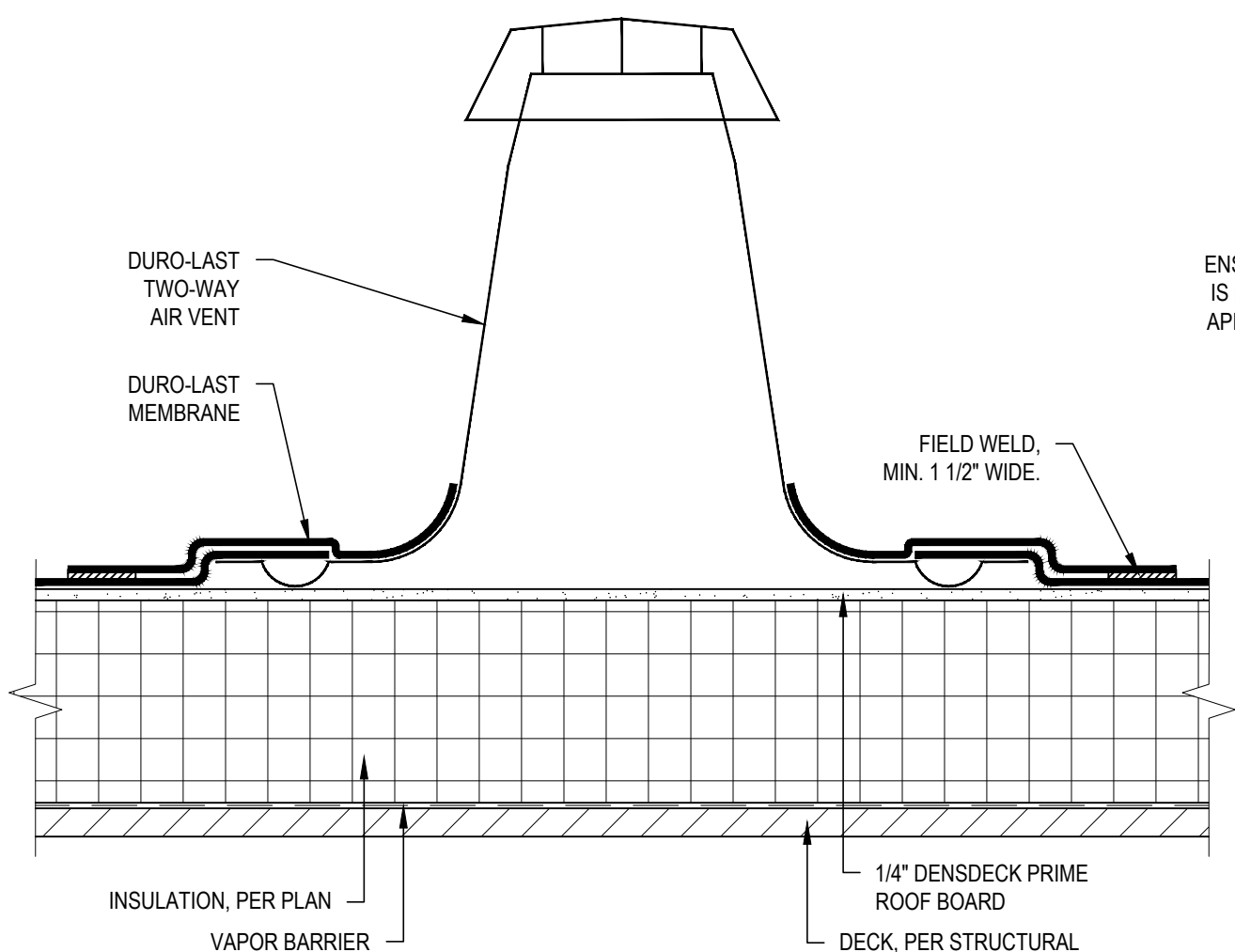
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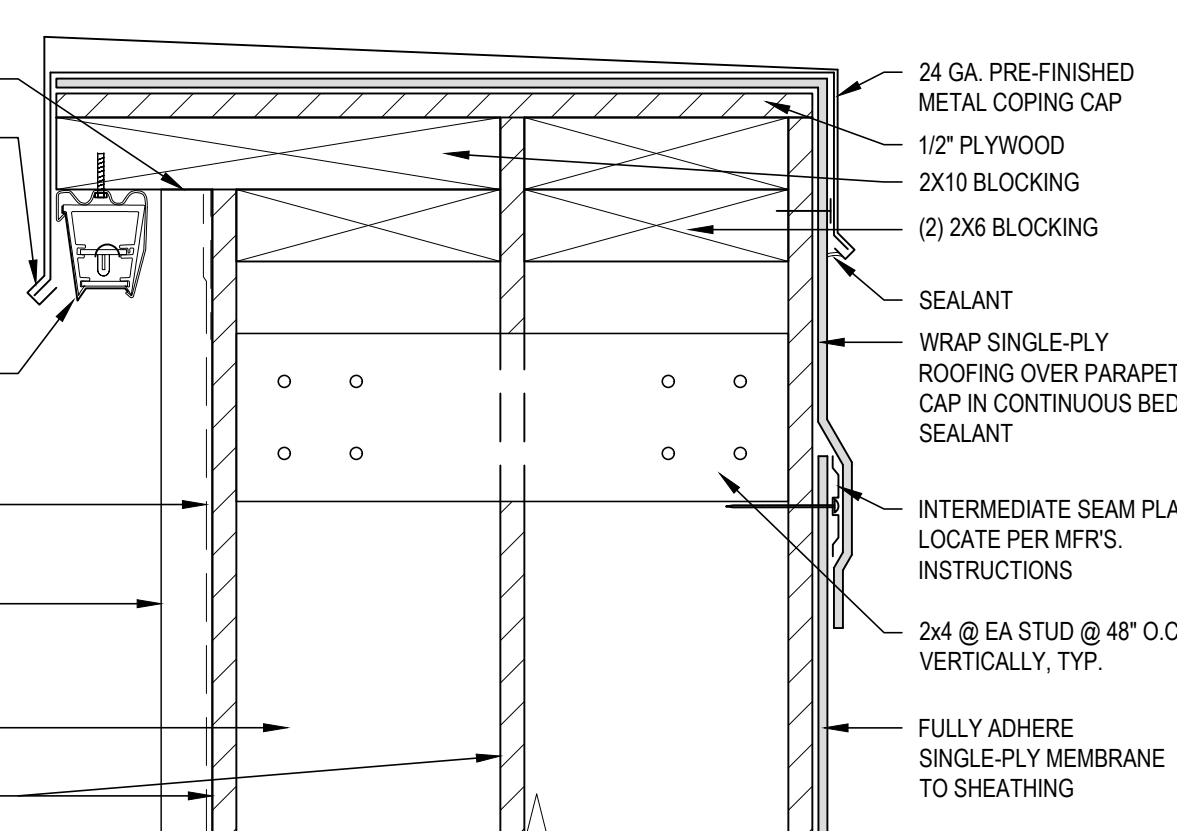
9 PARAPET DETAIL
SCALE: 3" = 1'-0"



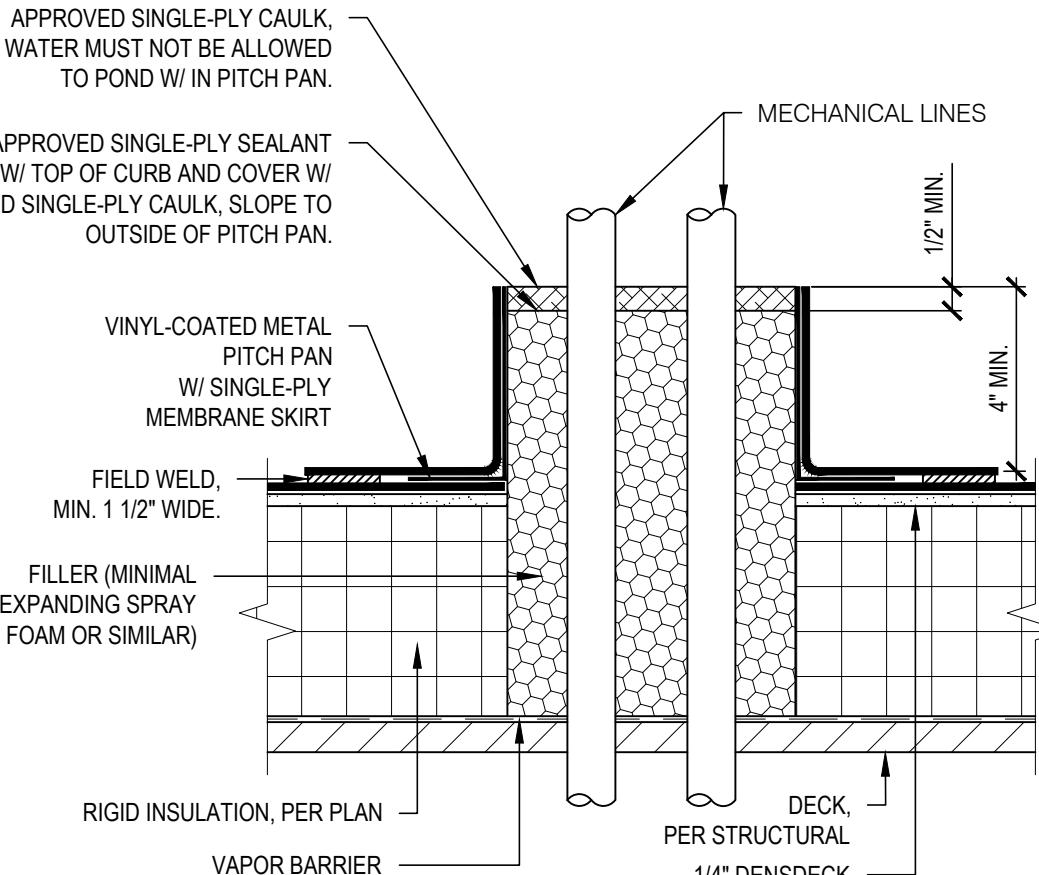
8 SINGLE-PLY SYSTEM ASSEMBLY
SCALE: 3" = 1'-0"



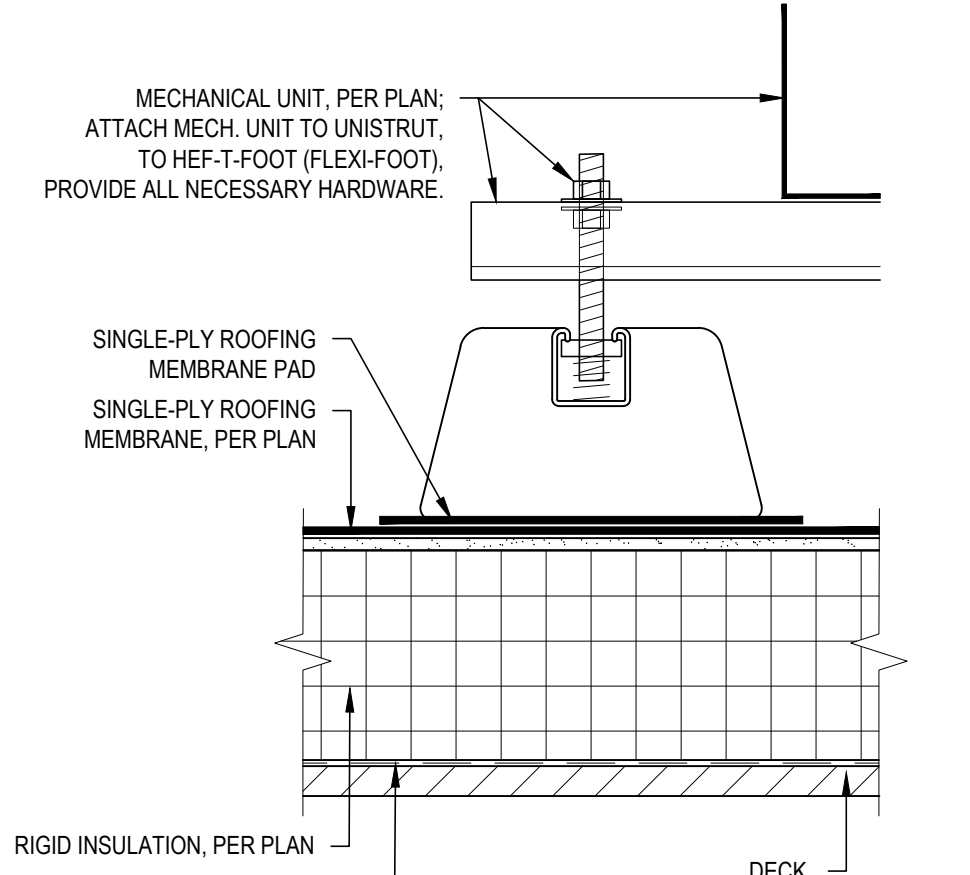
7 TWO-WAY AIR VENT
SCALE: 3" = 1'-0"



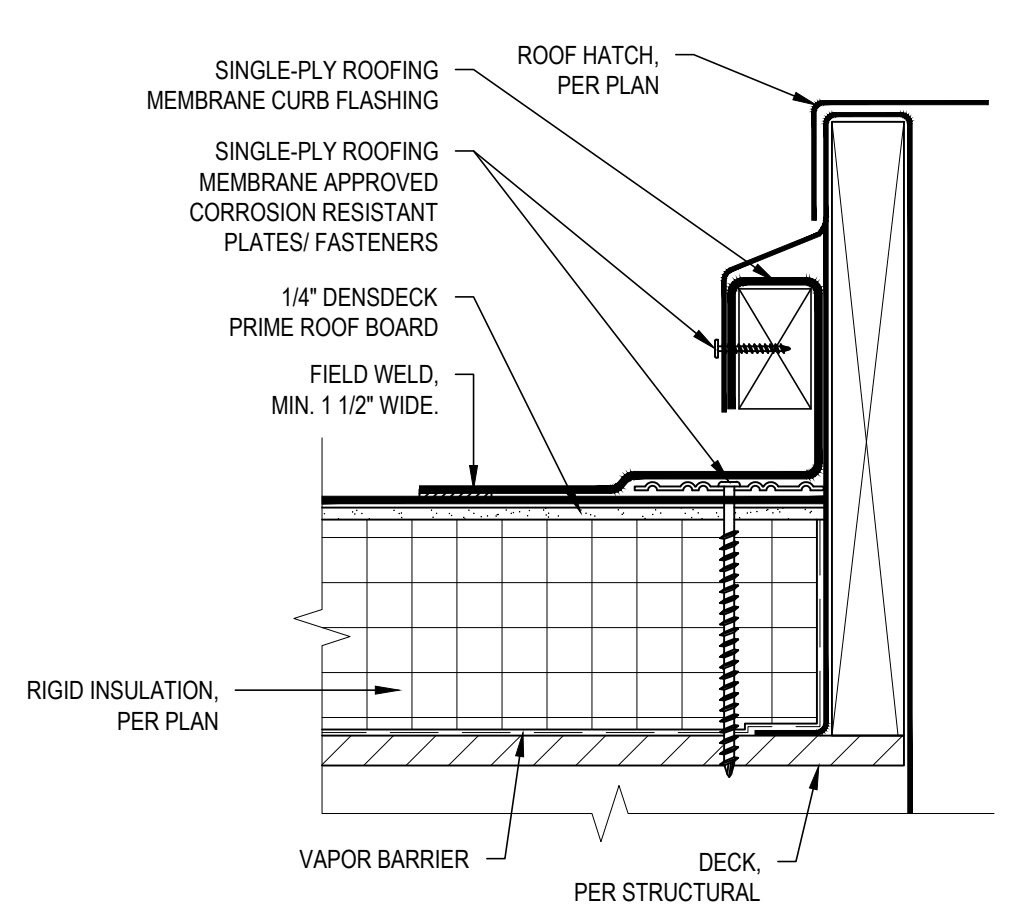
10 PARAPET CAP DETAIL - DOUBLE WALL
SCALE: 3" = 1'-0"



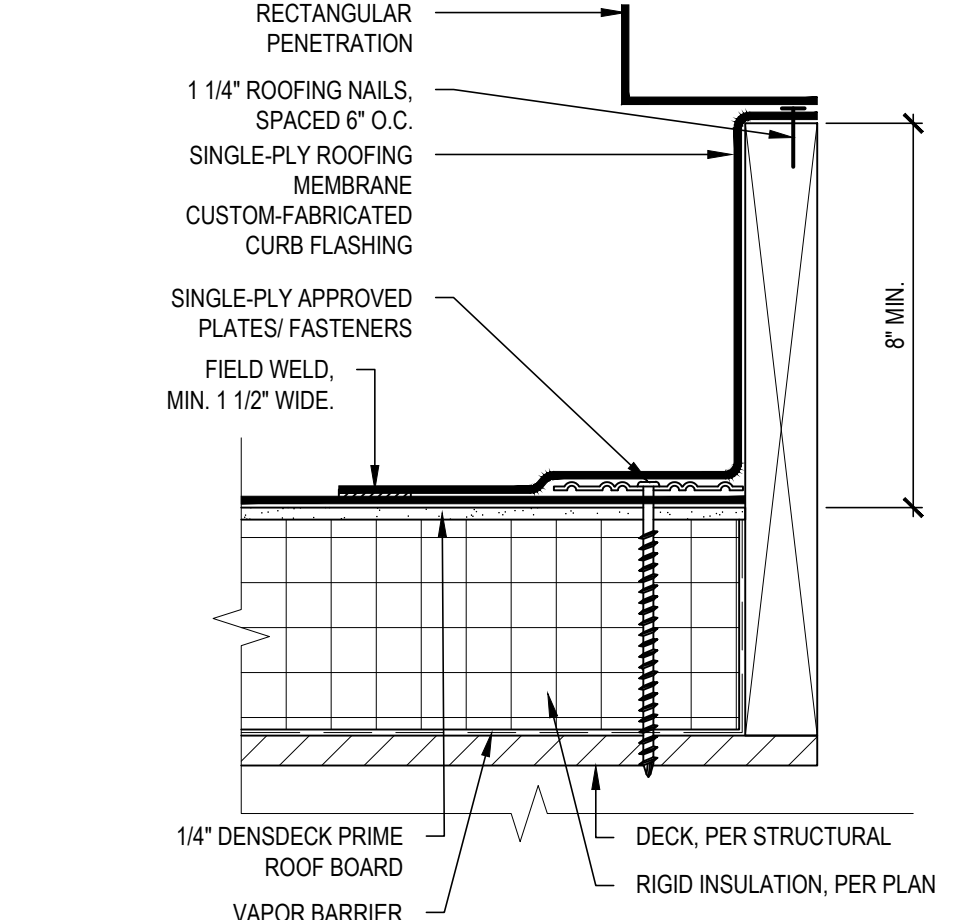
6 MECHANICAL LINES PENETRATION
SCALE: 3" = 1'-0"



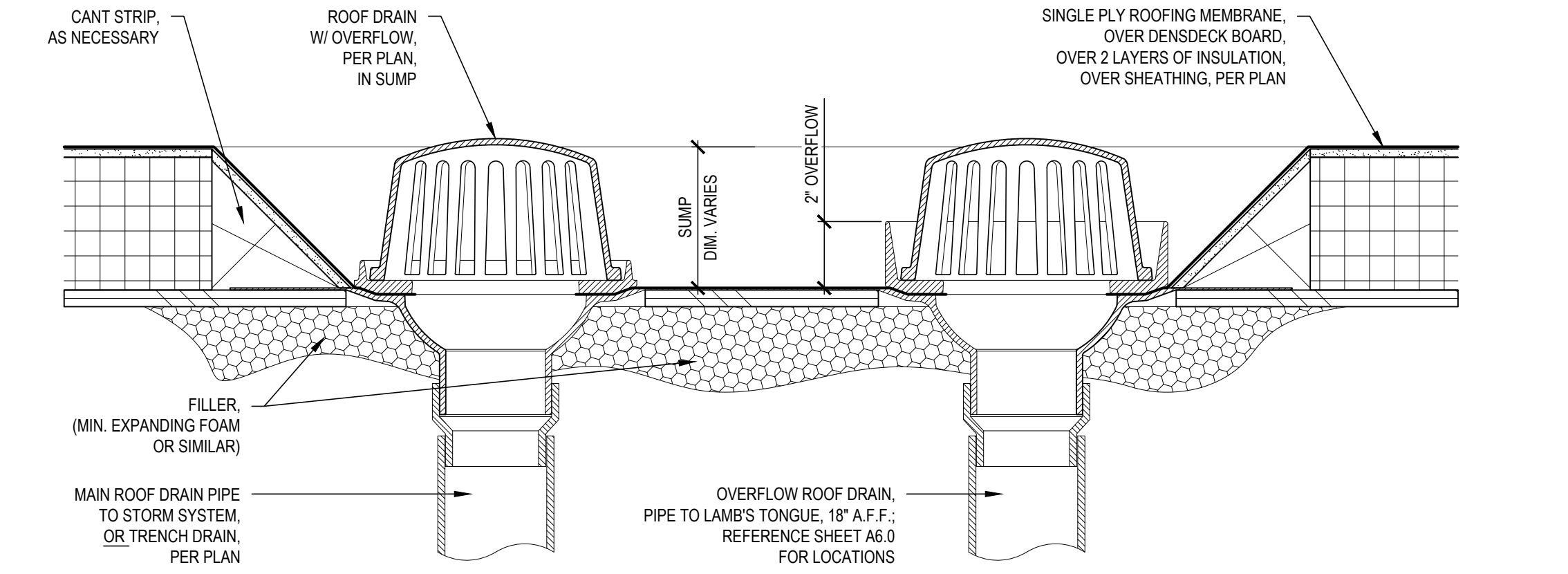
5 MECHANICAL UNIT SLEEPER (FLEXI-FOOT)
SCALE: 3" = 1'-0"



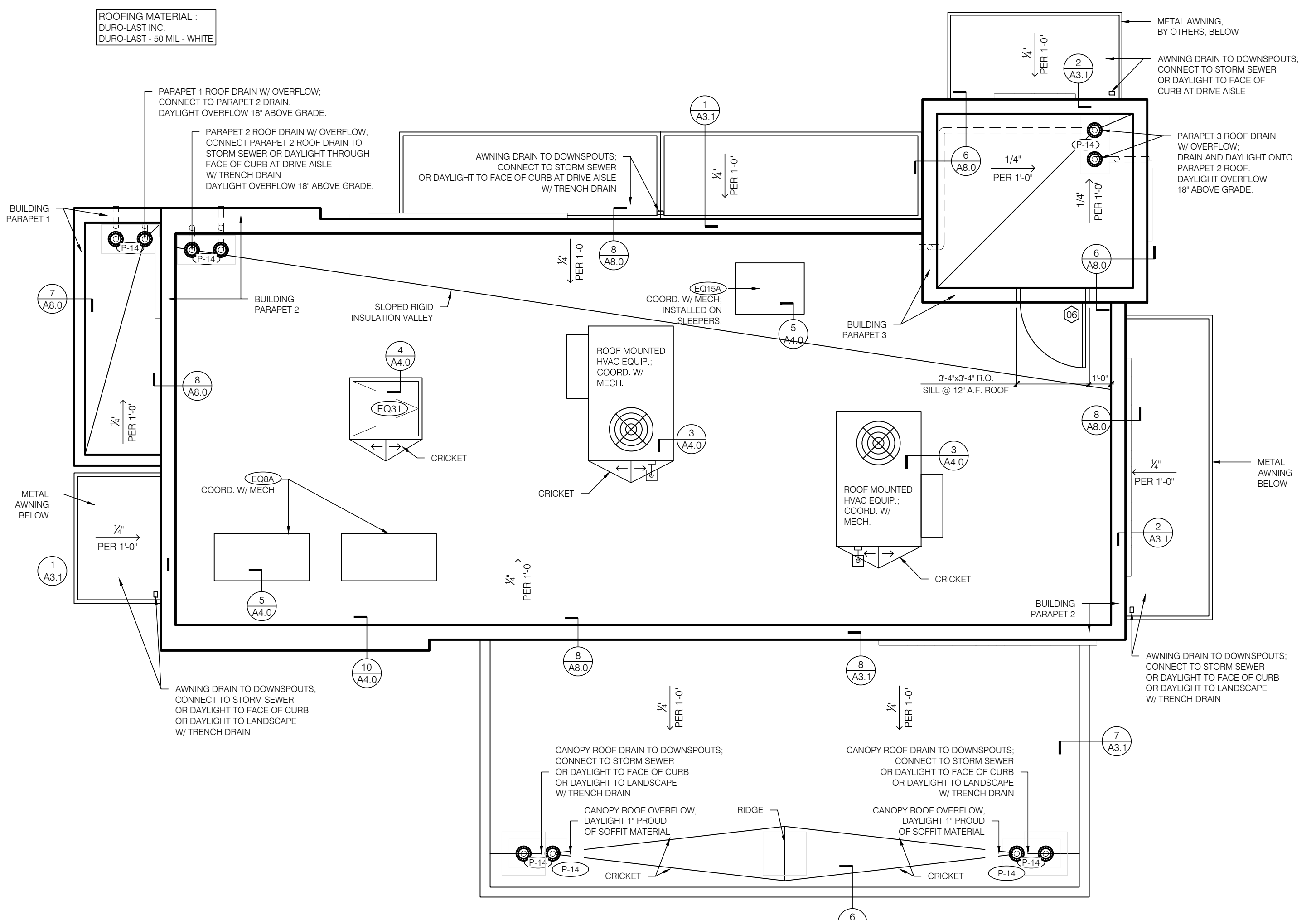
4 ROOF ACCESS HATCH
SCALE: 3" = 1'-0"



3 CURB DETAIL
SCALE: 3" = 1'-0"



2 TYPICAL COMBINATION ROOF DRAIN W/ OVERFLOW DETAIL
SCALE: 3" = 1'-0"



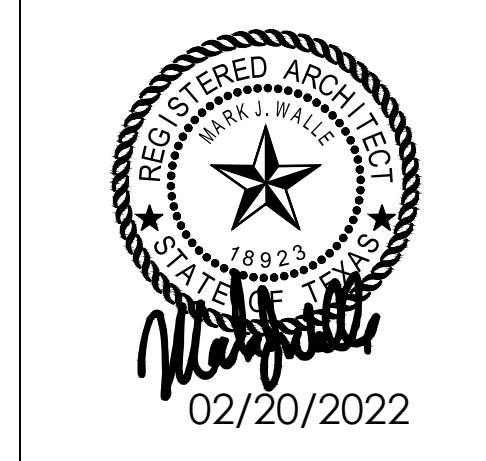
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR LOCATION AND NUMBER OF OTHER ROOF PENETRATIONS (IE: VENT STACKS VENT PIPES, CONDUIT PENETRATIONS, ETC.). FLASH ALL PENETRATIONS WEATHER TIGHT.
- SLOPE ALL CRICKETS AS SHOWN AT A MINIMUM SLOPE OF 1/4" PER FOOT FROM HORIZ. PLANE, UNLESS NOTED OTHERWISE.
- PROVIDE BUILT-UP TAPERED INSULATION ROOF CRICKETS AT ALL CURB LOCATIONS TO ALLOW POSITIVE DRAINAGE AND PREVENT PONDING.
- ALL METAL ROOF FLASHING DETAILS SHALL BE PER SMACNA AND MANUFACTURERS RECOMMENDATIONS AND REVIEWED BY THE ARCHITECT FOR DESIGN INTENT.
- PROVIDE ROOF INSULATION SYSTEM BELOW ROOFING MEMBRANE, PER THE ROOFING ASSEMBLIES SPECIFIED IN DIVISION 07 SECTIONS "THERMOPLASTIC POLYOLEFIN ROOFING" AND "APPLIED FIREPROOFING".
- PROVIDE SUPPLEMENTAL INSULATION OVERBUILDS WHERE INDICATED FOR ROOF SLOPE CONTINUATION.



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SUITE 500
DALLAS, TX 75247
TEL: 214-922-8012
PROJECT NUMBER: 2235056



Project No: TX6402
Dutch Bros Coffee - New Freestanding Store
1123 SE Military Dr
San Antonio, TX 78214
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

ISSUED FOR PERMIT
REVIEW AND
CONSTRUCTION:
02.20.2023

REV:	DATE:	DESCRIPTION:

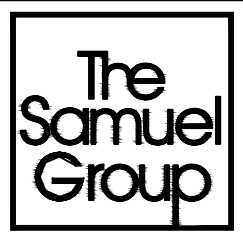
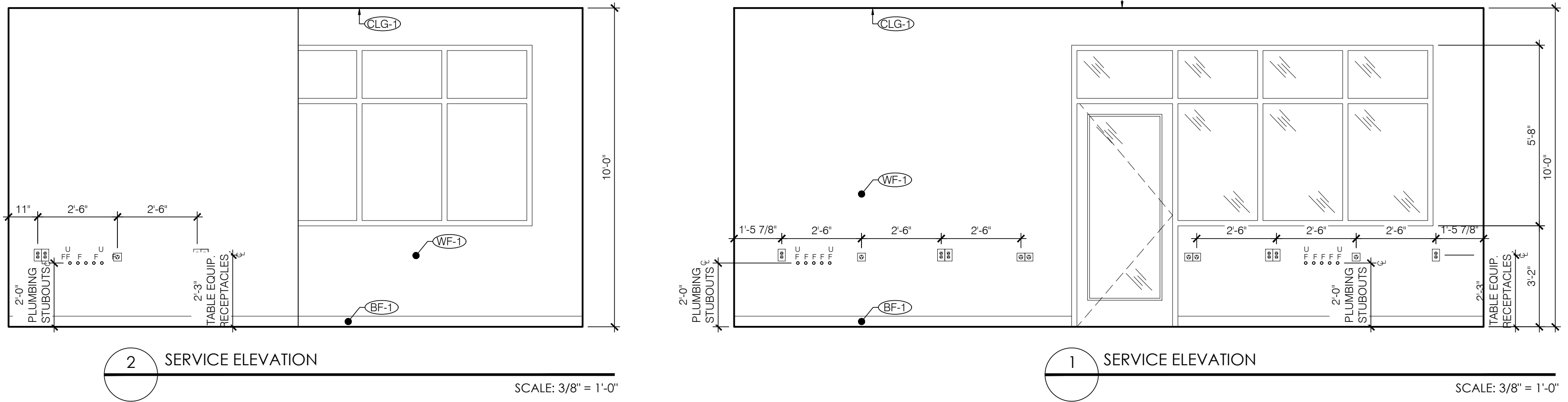
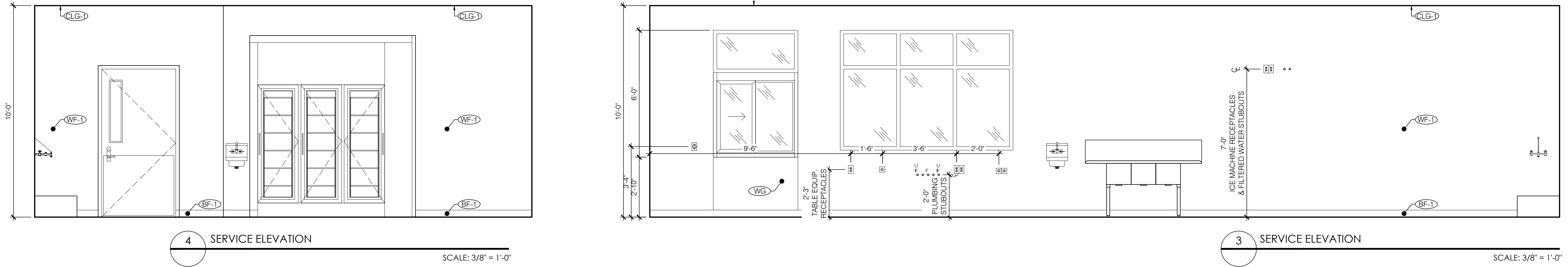
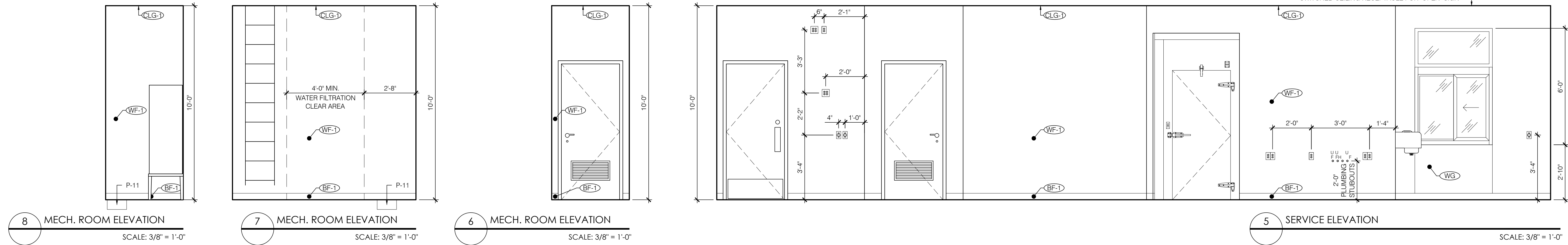
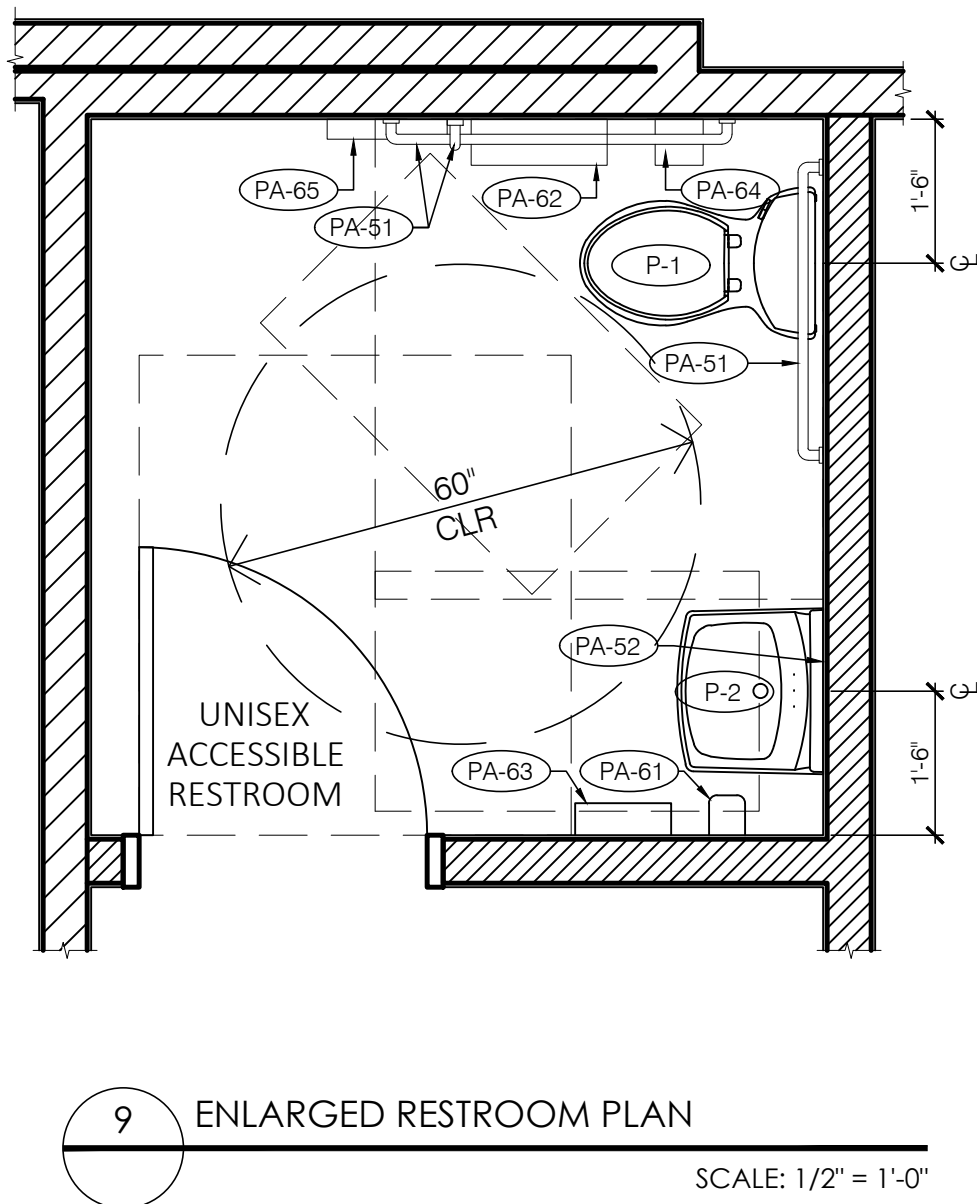
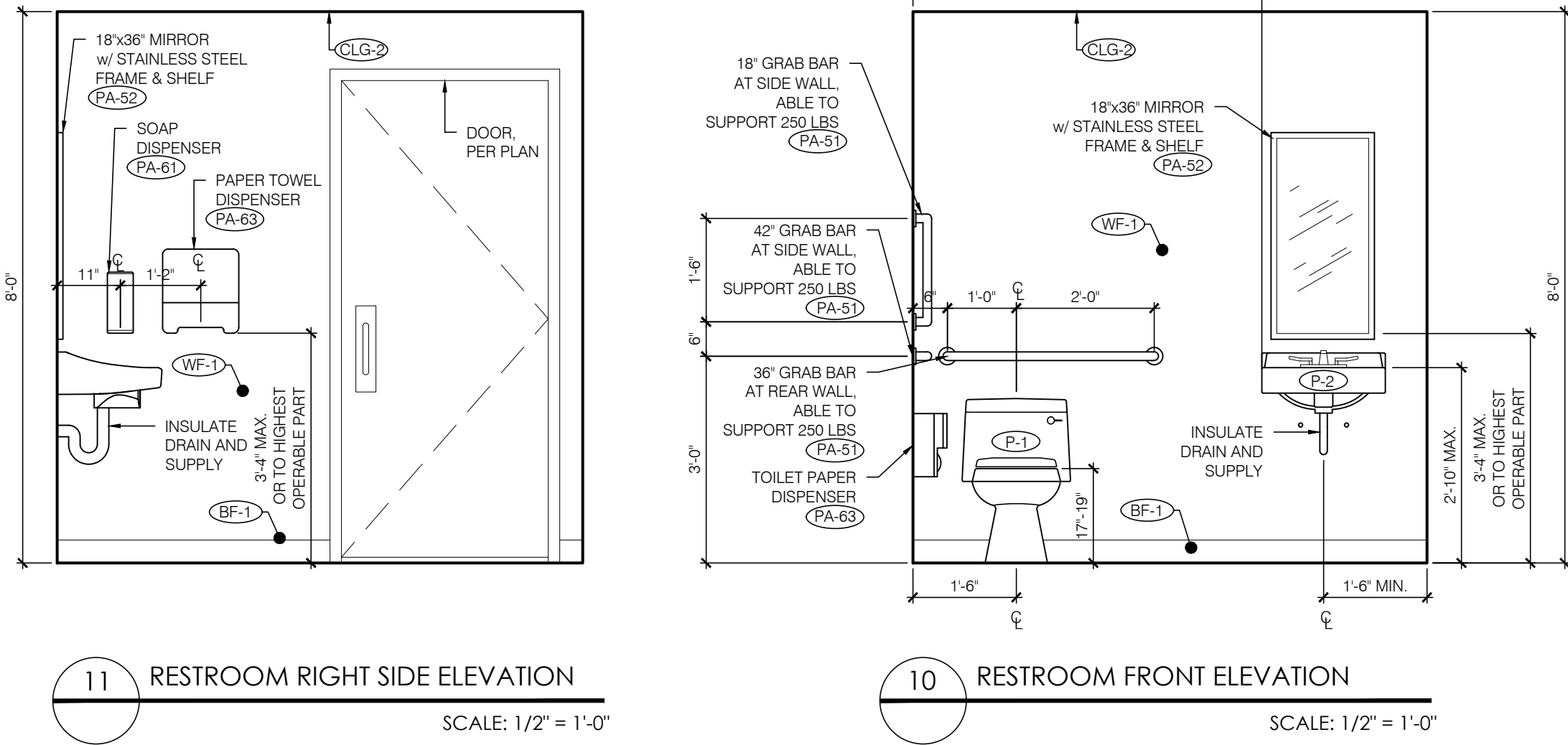
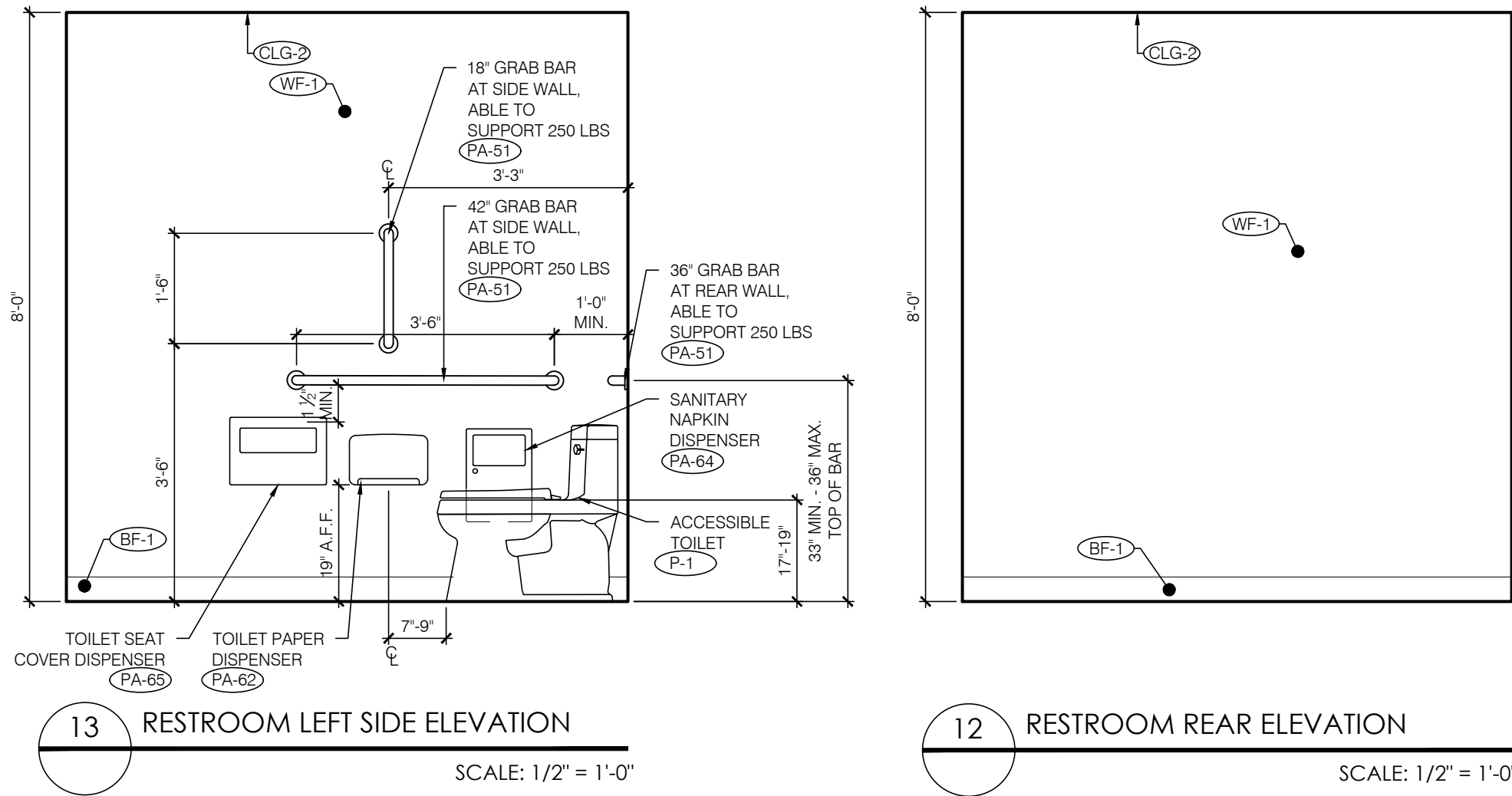
SHEET NAME:

ROOF PLAN/ ROOF
DETAILS

SHEET NUMBER:

A4.0

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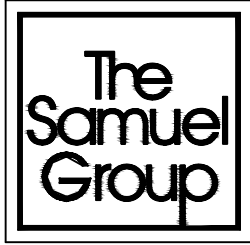
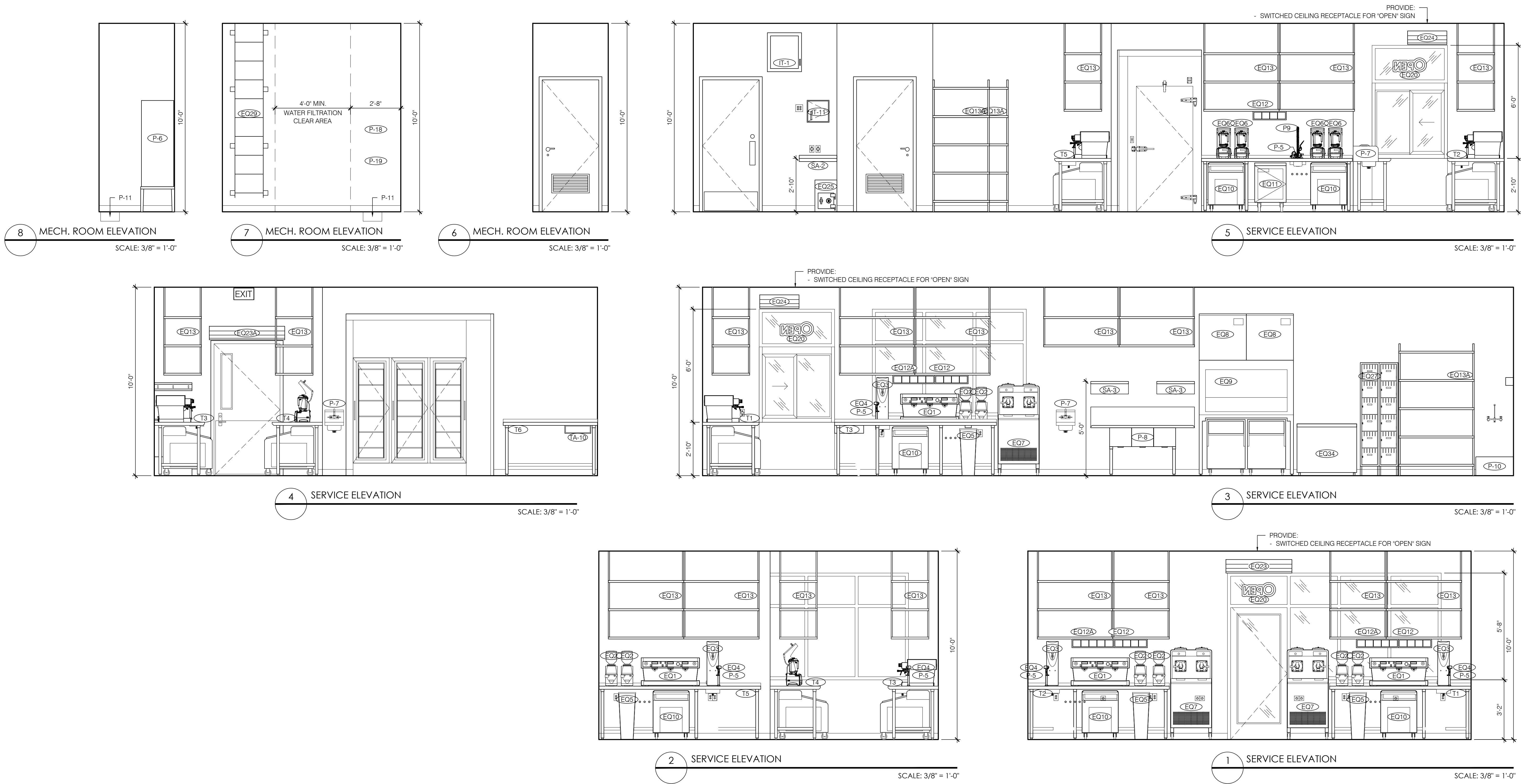
INTERIOR ELEVATIONS

SHEET NUMBER:

A5.0

Project No: TX6402
Date: 02/20/2022
Scale: 3/8" = 1'-0"

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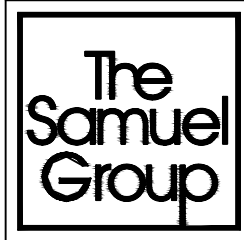
INTERIOR ELEVATIONS
- EQUIPMENT

SHEET NUMBER:

A5.1

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EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH; REVEALS AS SHOWN	COLOR: BLDG DB DARK GRAY
1B	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH; REVEALS AS SHOWN	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



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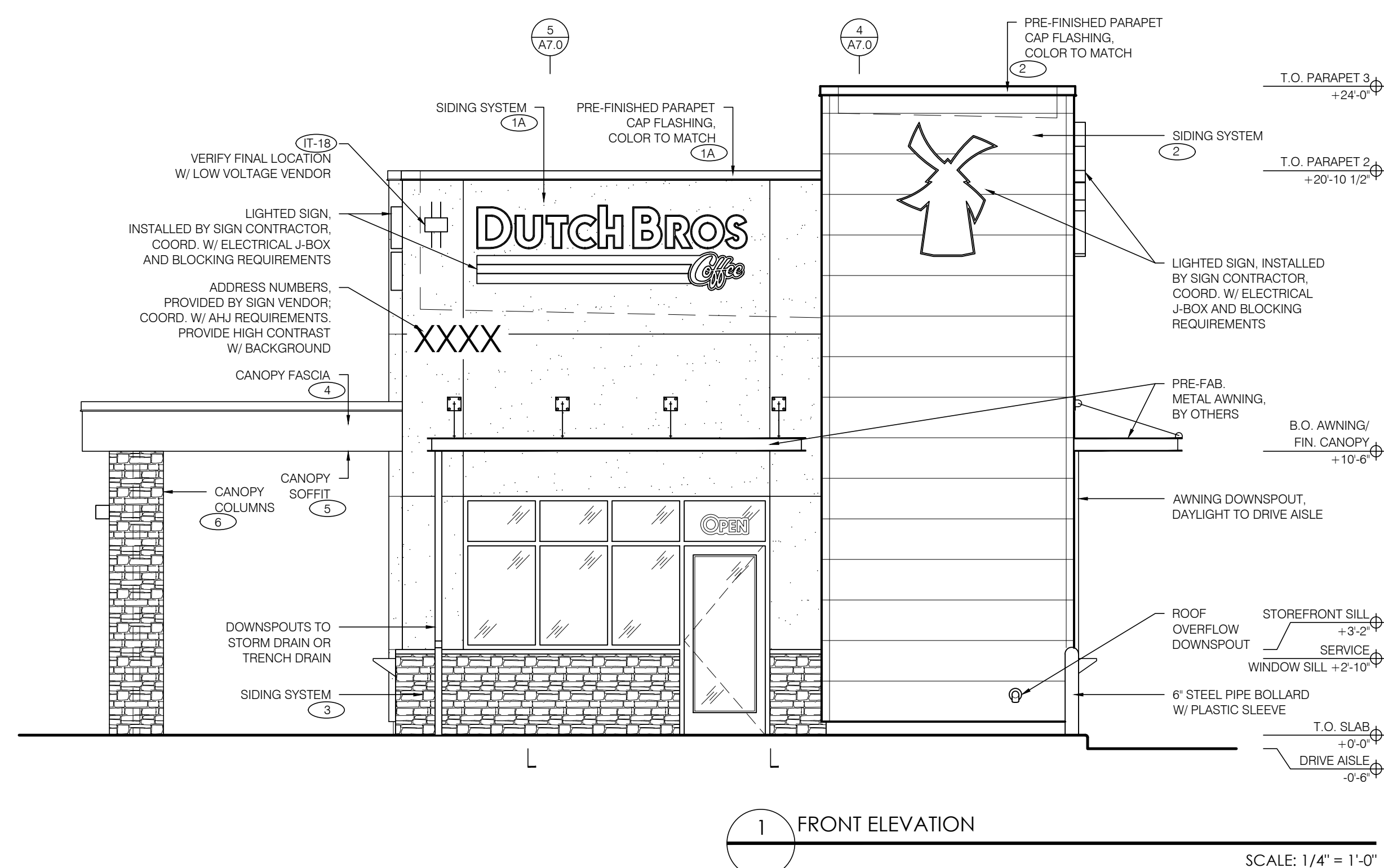
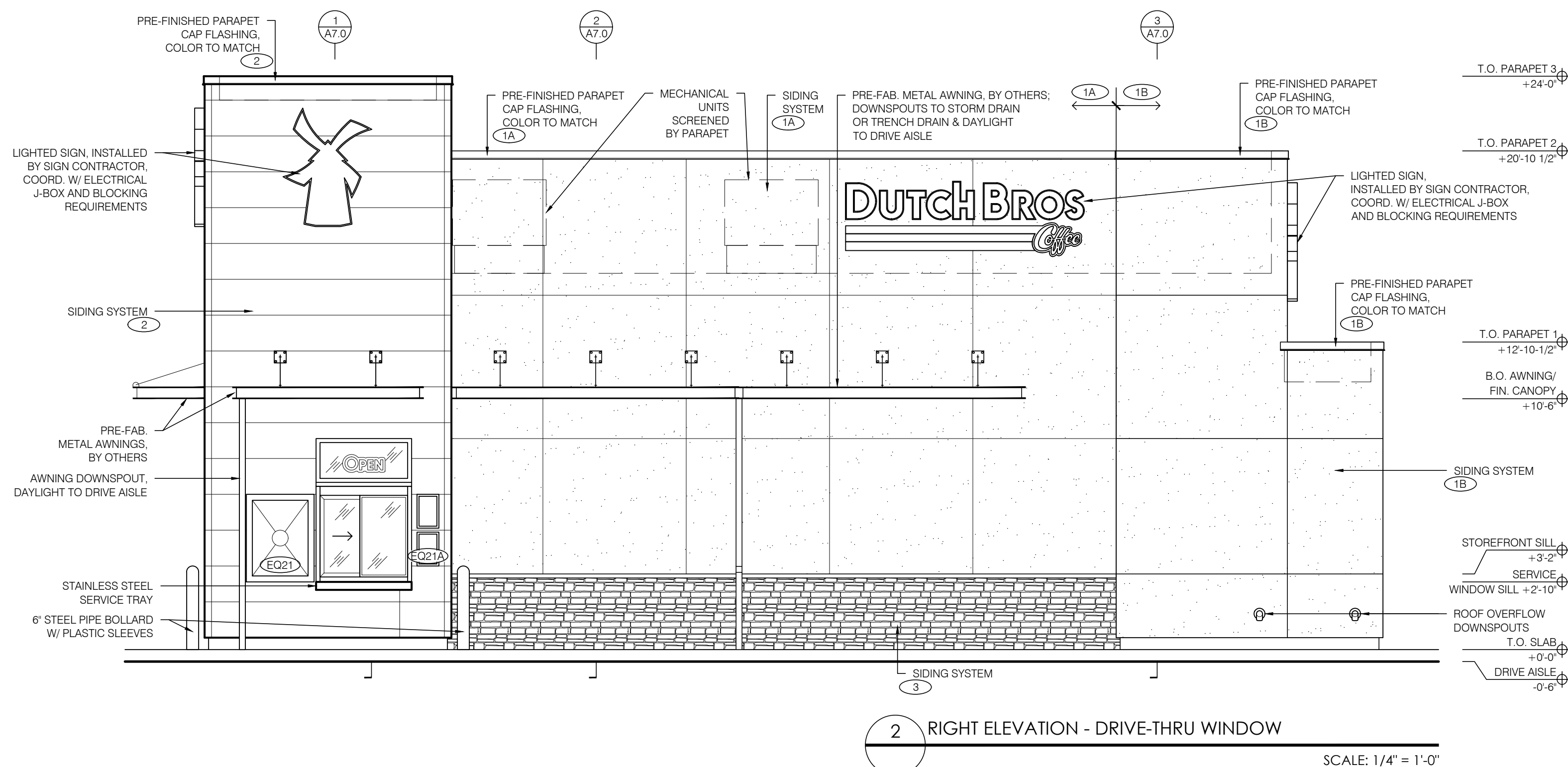
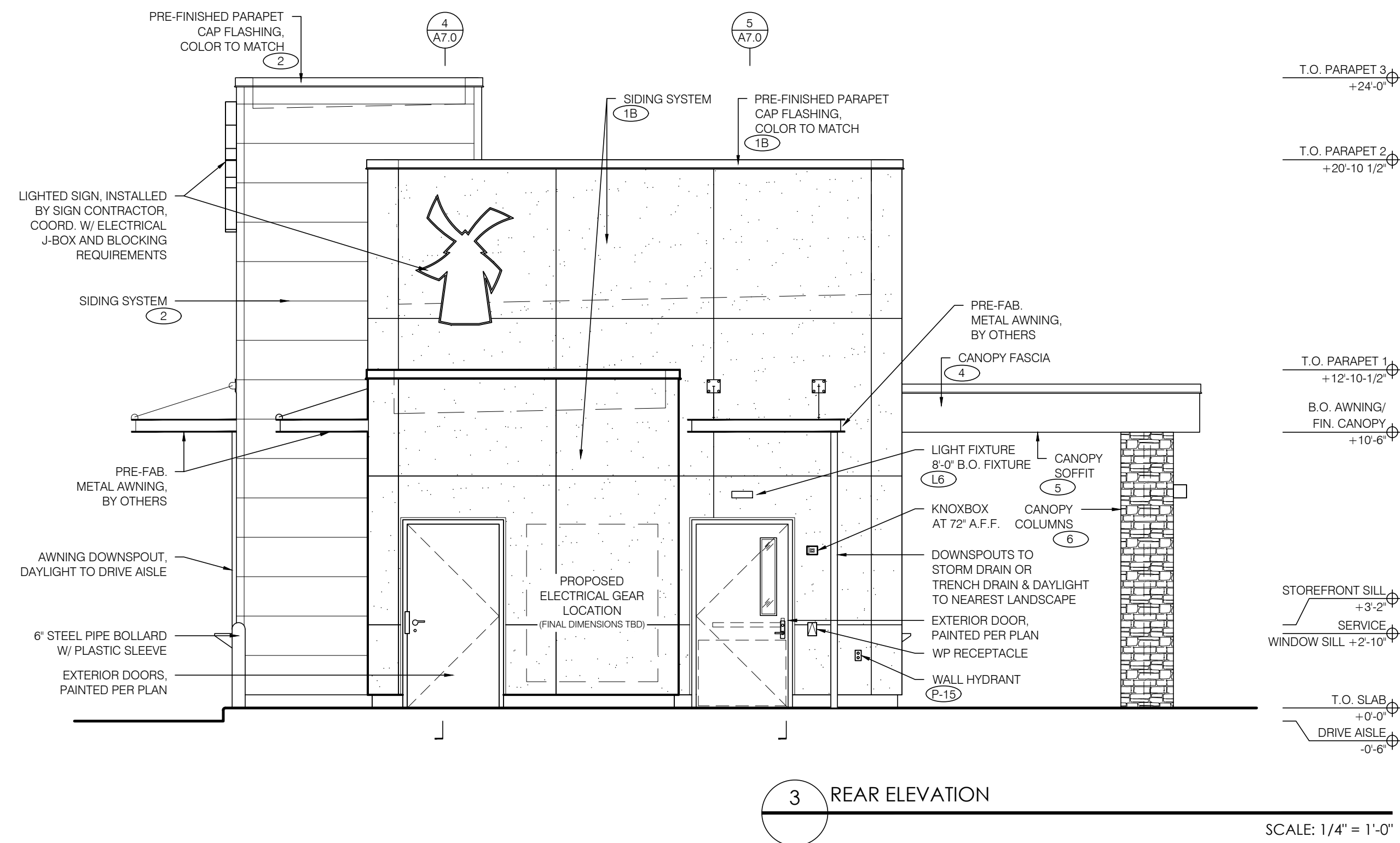
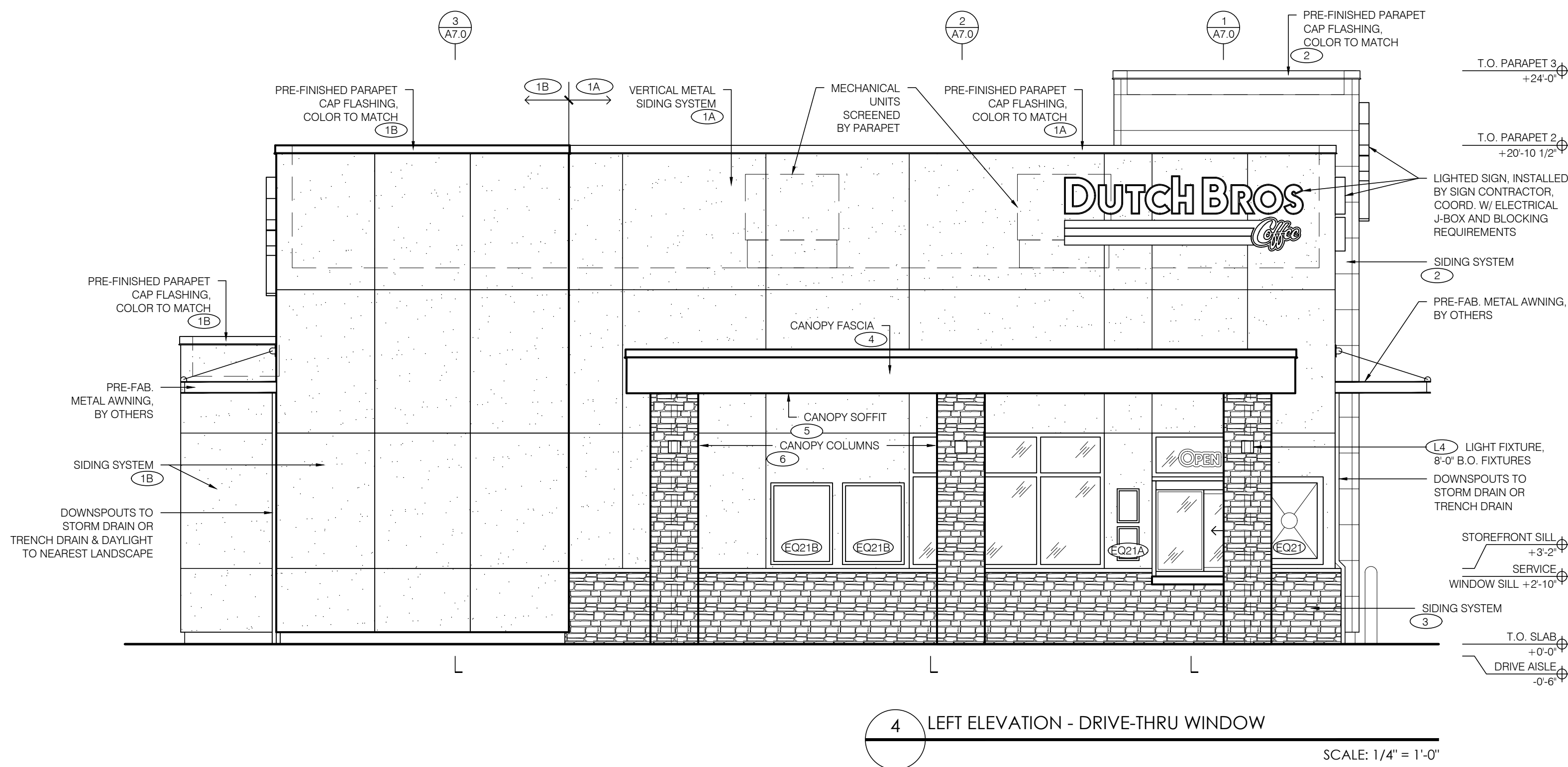
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BUILDING ELEVATIONS

SHEET NUMBER: _____

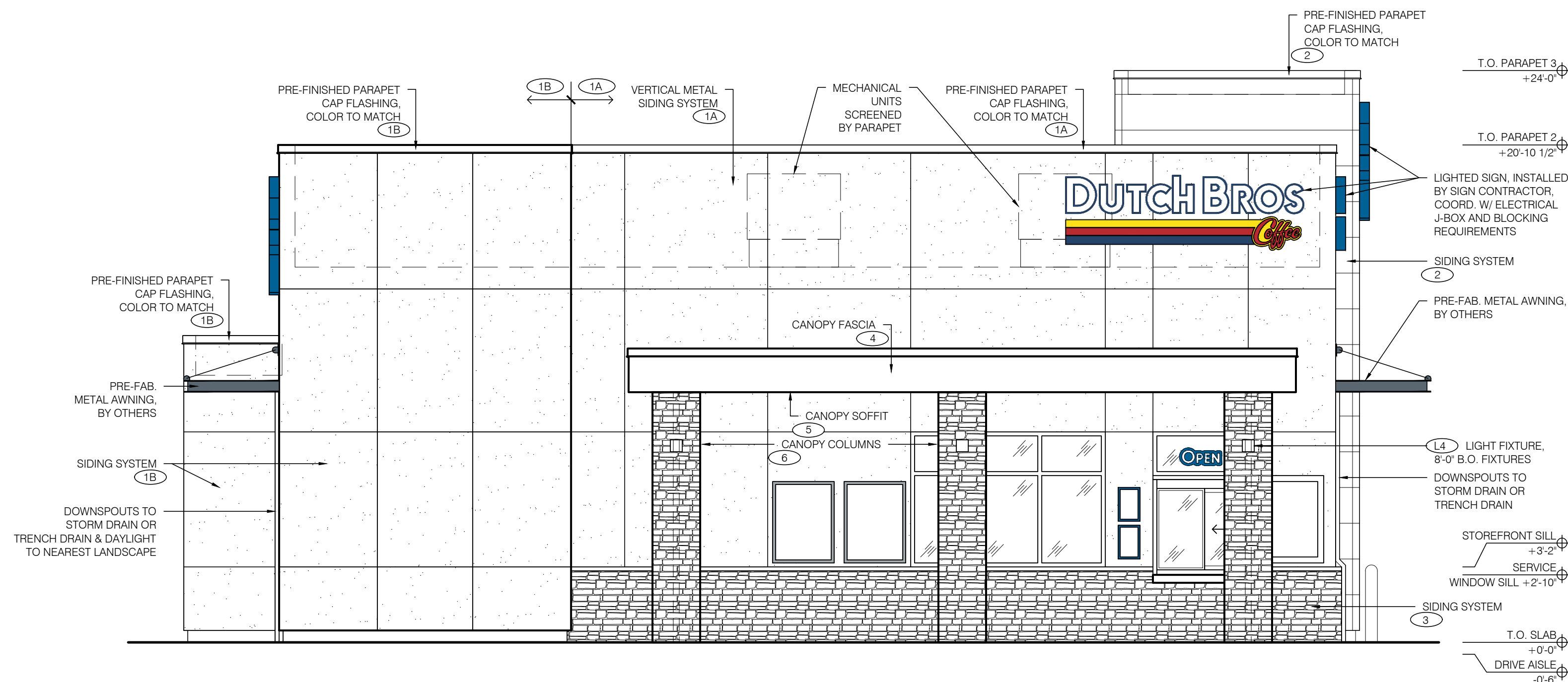
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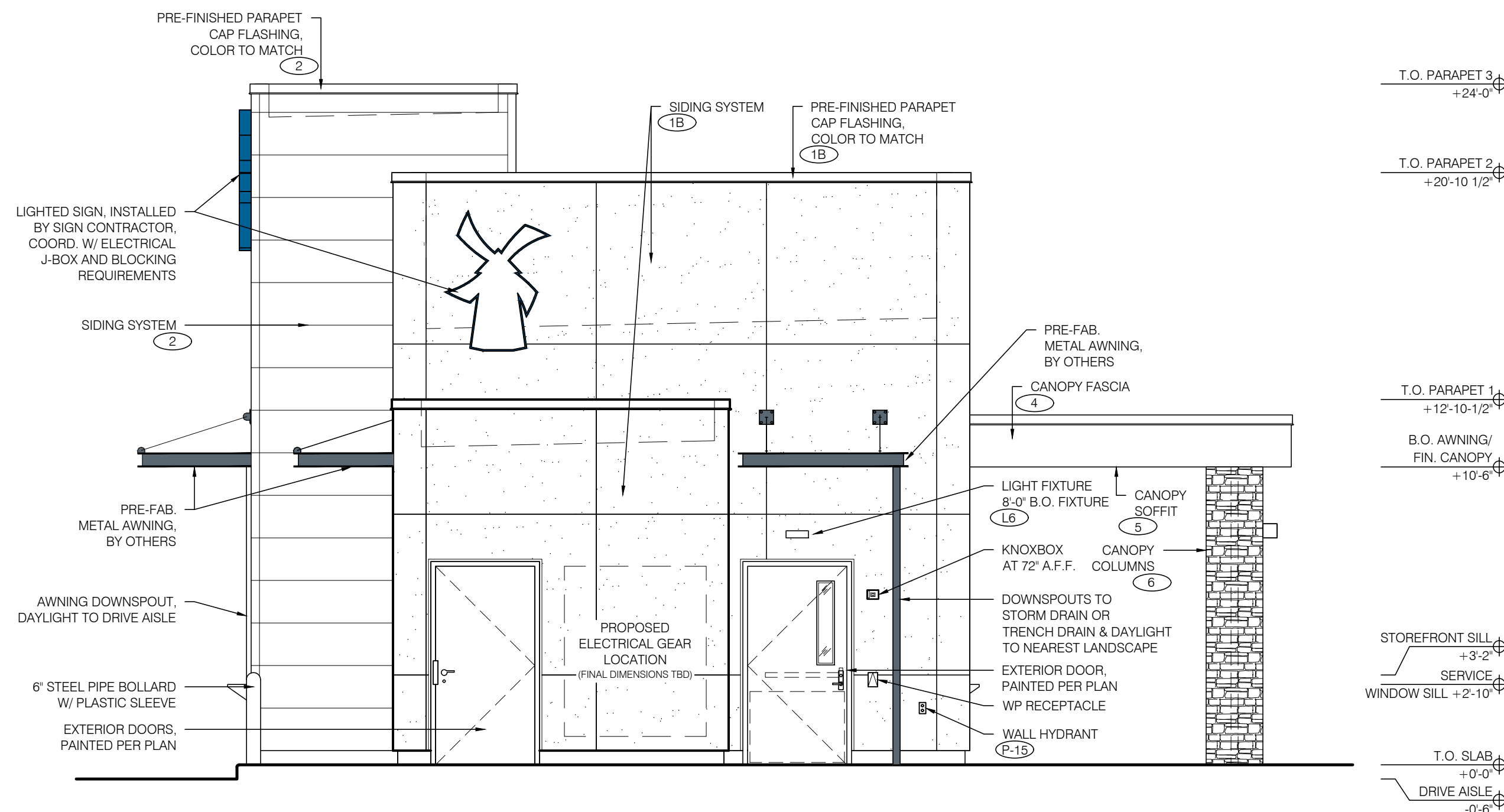
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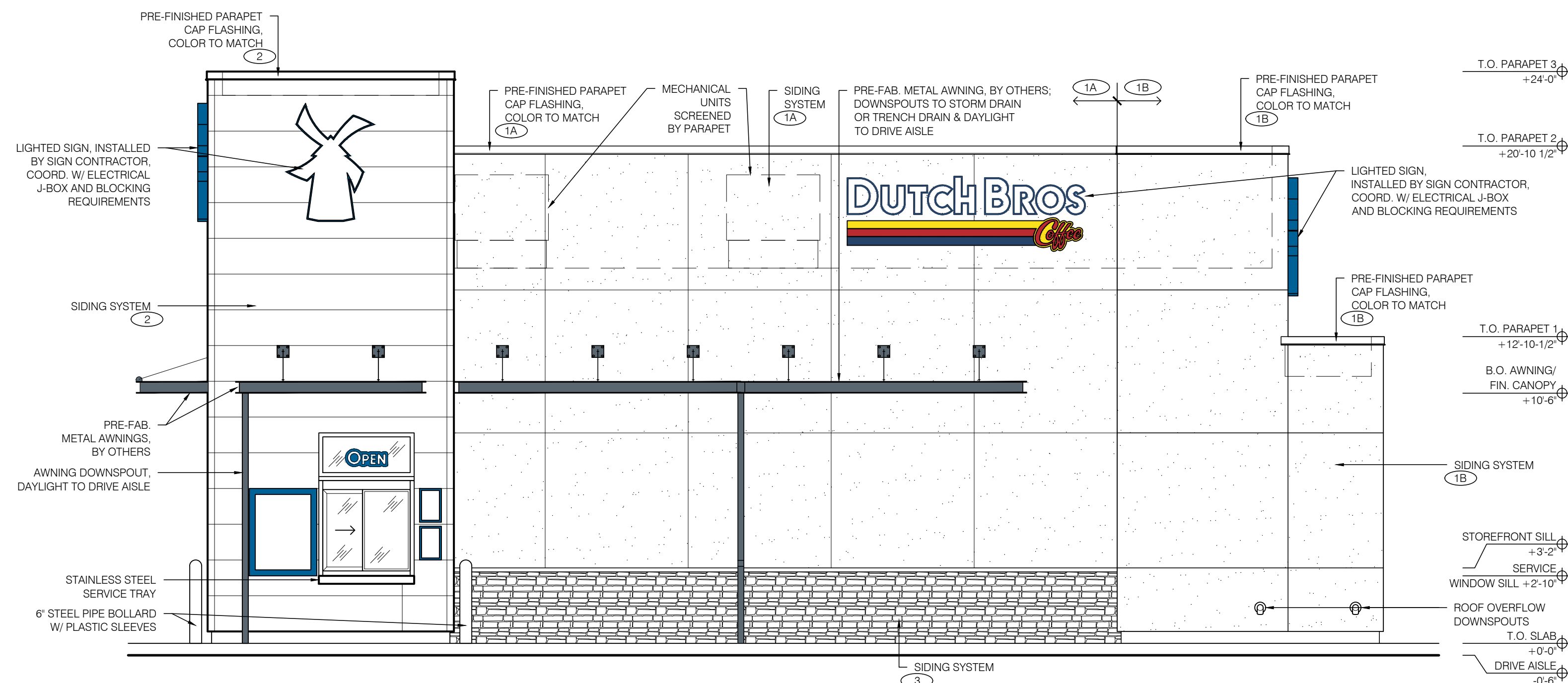
4 LEFT ELEVATION - DRIVE-THRU WINDOW

SCALE: 1/4" = 1'-0"



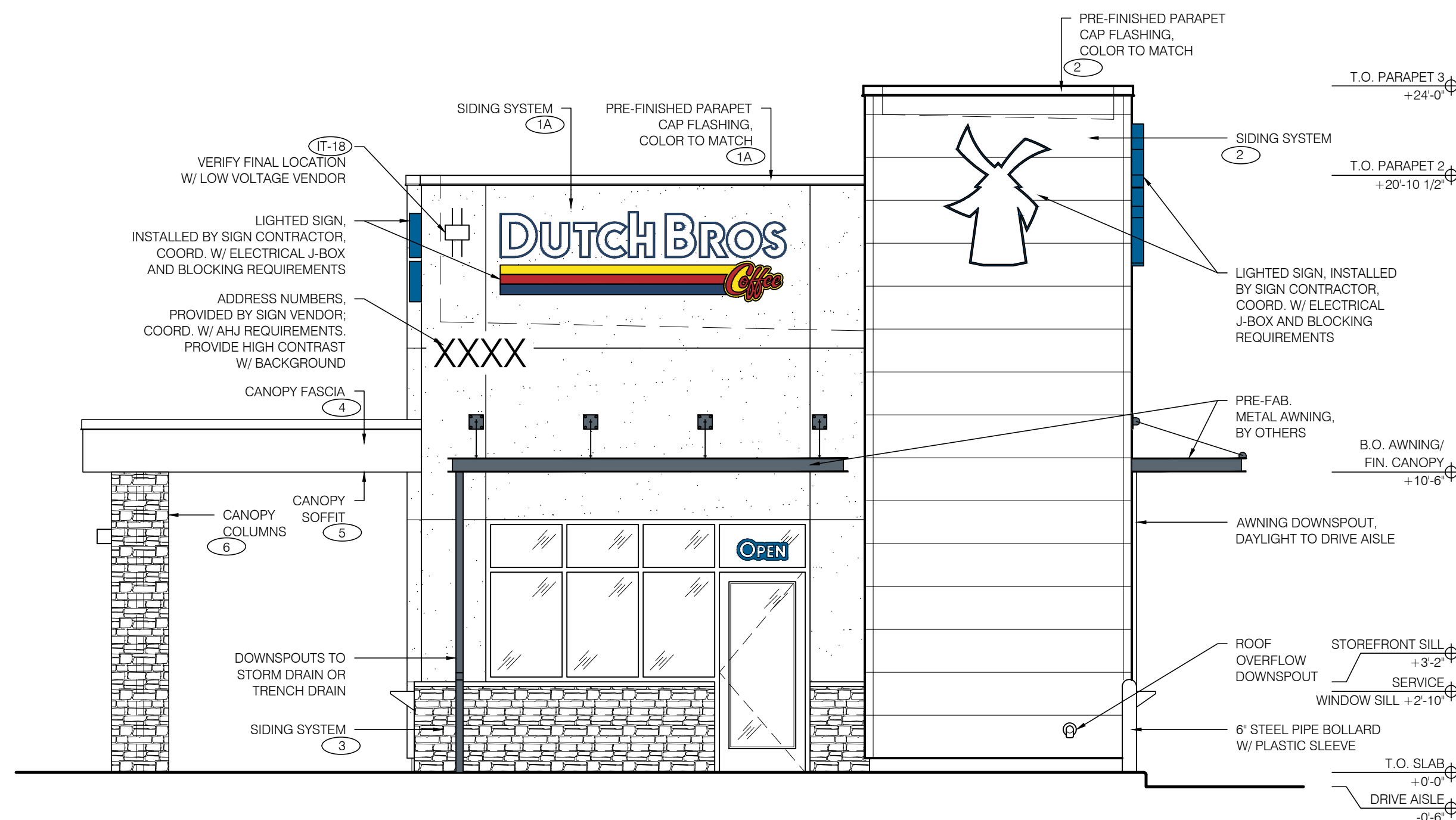
3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - DRIVE-THRU WINDOW

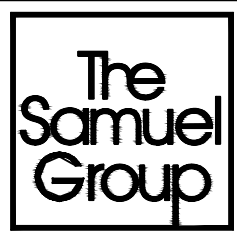
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	COLOR: BLDG DB DARK GRAY
1B	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES, COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



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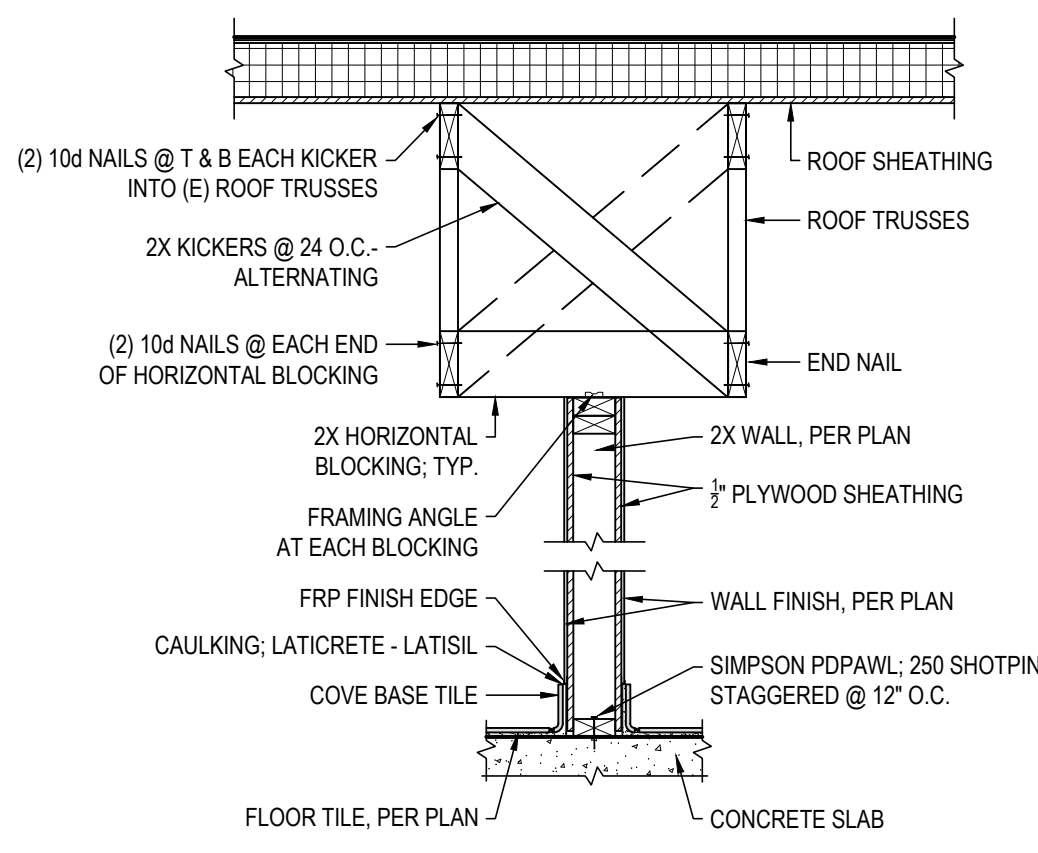
BUILDING ELEVATIONS -
COLOR

SHEET NUMBER:

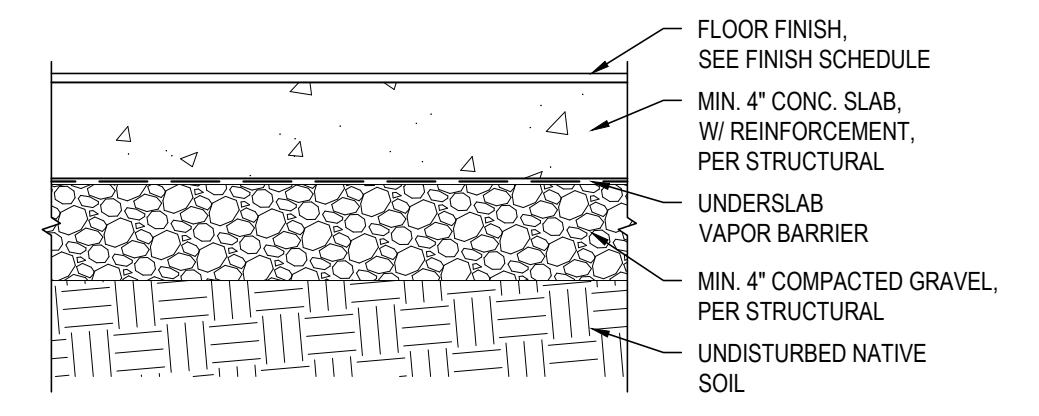
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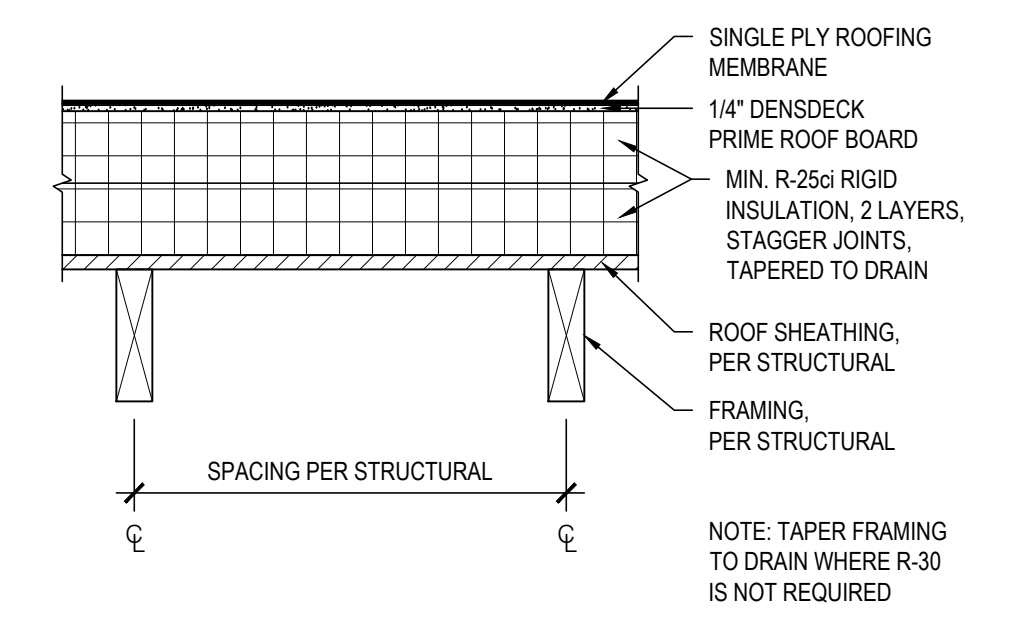
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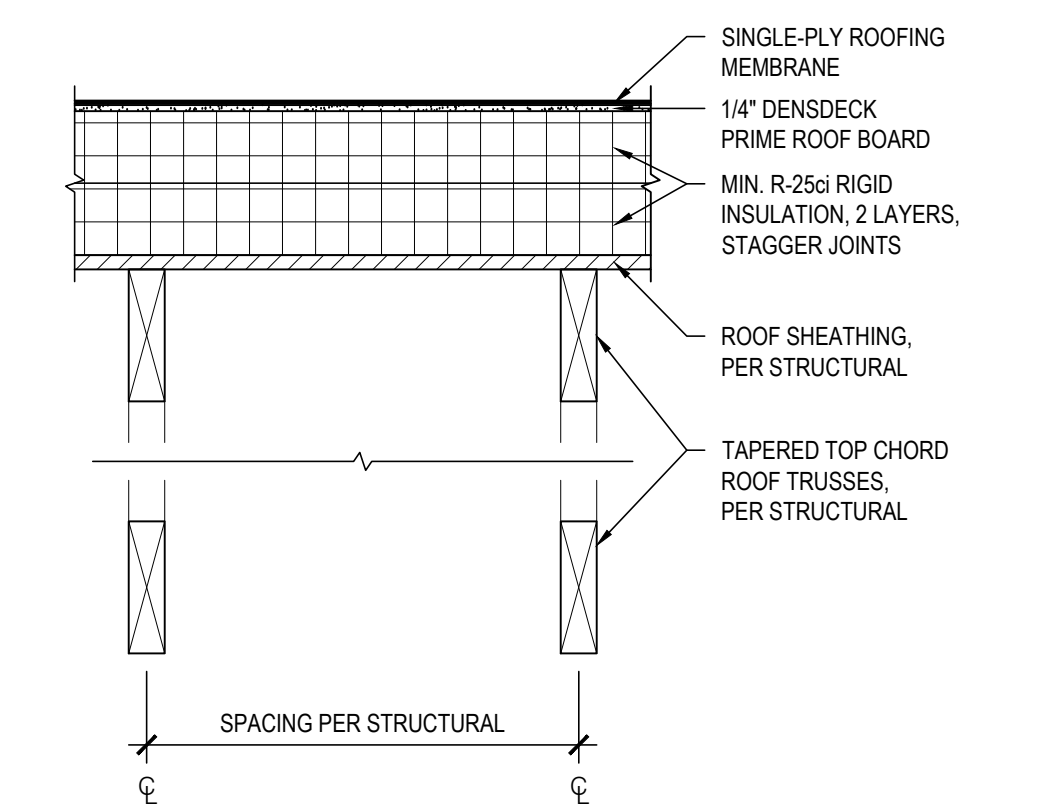
9 TOP/ BOTTOM OF WALL BRACING
SCALE: 3/4" = 1'-0"



8 BUILDING CONCRETE SLAB
SCALE: 1 1/2" = 1'-0"

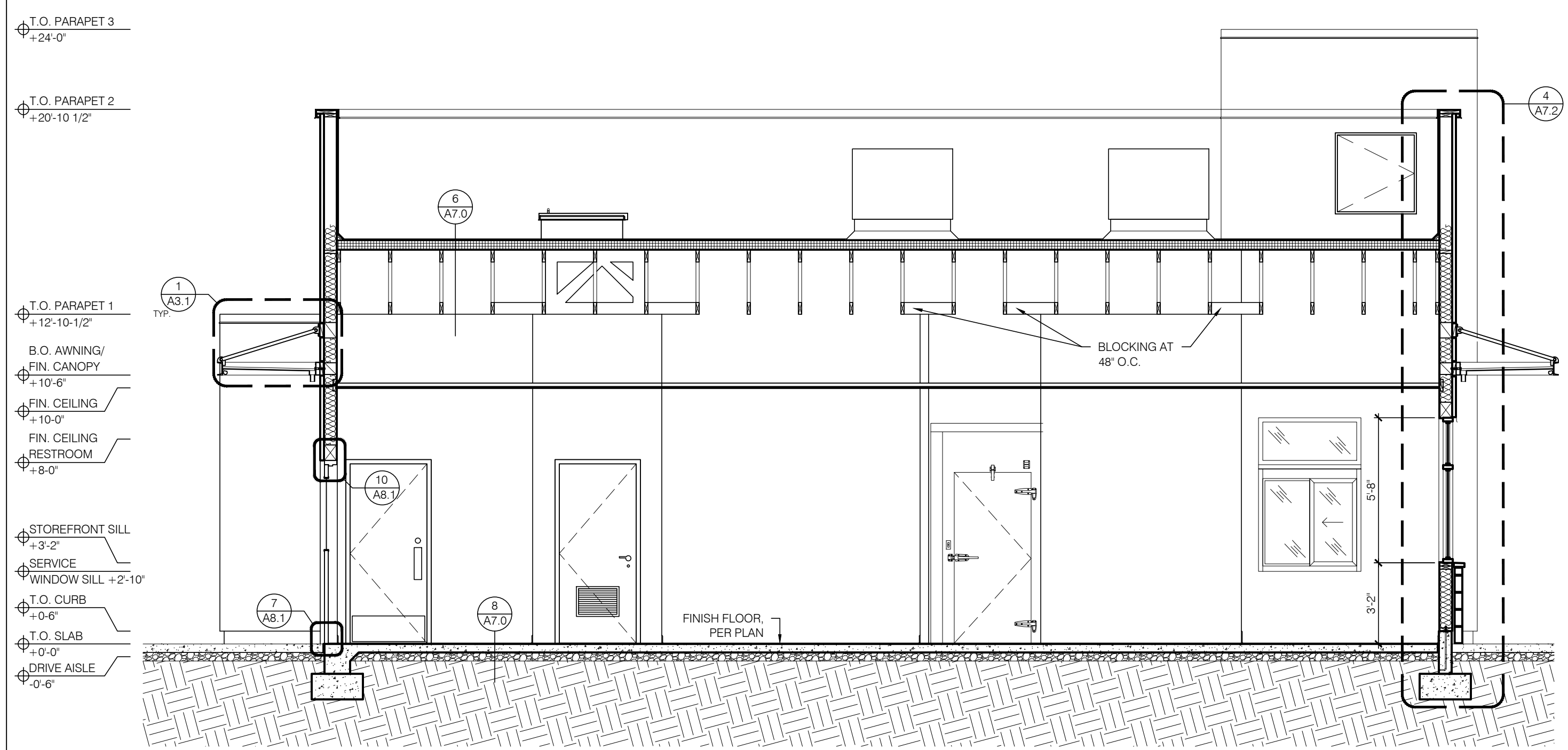


7 ROOF ASSEMBLY - JOISTS
SCALE: 1 1/2" = 1'-0"

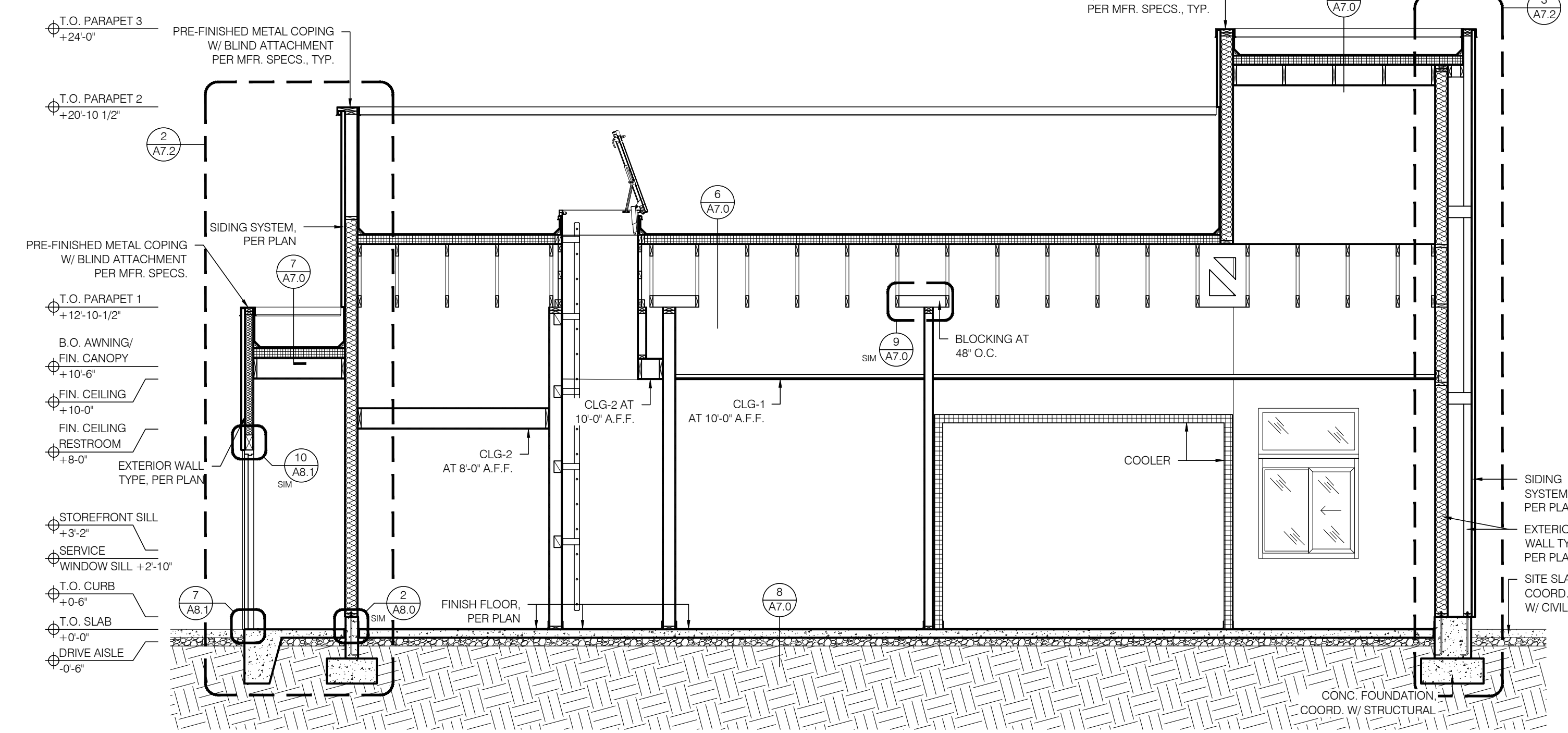


6 ROOF ASSEMBLY - TRUSSES
SCALE: 1 1/2" = 1'-0"

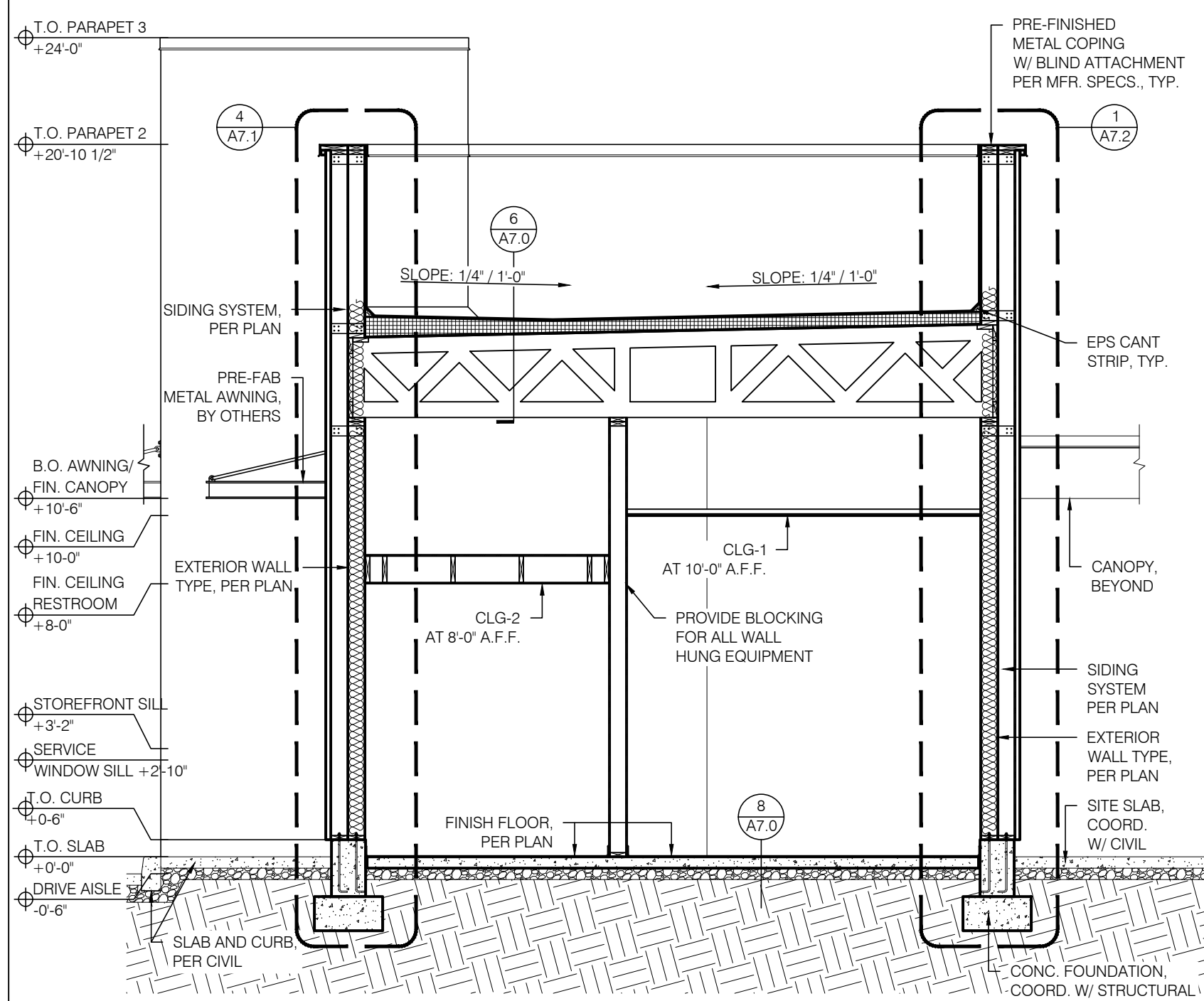
- GENERAL NOTES:
- COORDINATE WITH STRUCTURAL DRAWINGS FOR SIZES, CONNECTION DETAILS OF WOOD FRAMING, POSTS, JOISTS, GIRDERS, WOOD DECKING AND OTHER STRUCTURAL COMPONENTS.
 - COORDINATE WITH STRUCTURAL DRAWINGS FOR REINFORCEMENT OF CONCRETE SLABS, FOOTINGS, FOUNDATIONS, AND WALL TYPES.
 - COORDINATE WINDOW TYPES WITH FLOOR PLANS AND FRAME TYPES. PROVIDE BITUMINOUS DAMPROOFING ON ALL EXTERIOR WALLS BELOW GRADE LEVEL AS INDICATED IN THE SPECIFICATIONS.
 - AIR BARRIER JOINTS AND SEAMS SHALL BE SEALED, INCLUDING SEALING TRANSITIONS IN PLACES AND CHANGES IN MATERIALS. THE JOINTS AND SEALS SHALL BE SECURELY INSTALLED IN OR ON THE JOINT FOR ITS ENTIRE LENGTH SO AS NOT TO DISLODGE, LOOSEN OR OTHERWISE IMPAIR ITS ABILITY TO RESIST POSITIVE AND NEGATIVE PRESSURE FROM WIND, STACK EFFECT AND MECHANICAL VENTILATION.
 - PENETRATIONS OF THE AIR BARRIER SHALL BE CAULKED, GASKETED OR OTHERWISE SEALED IN A MANNER COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION.



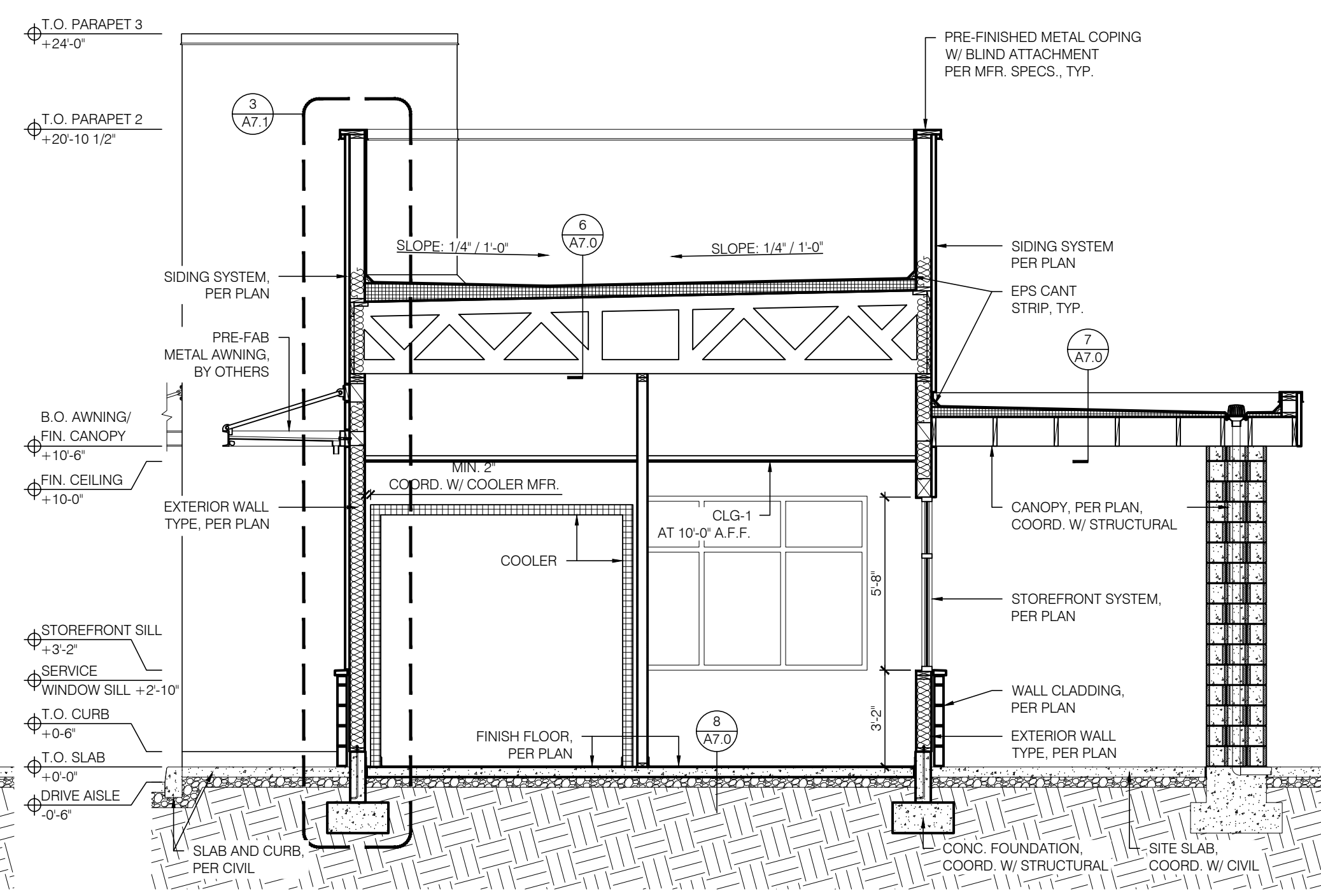
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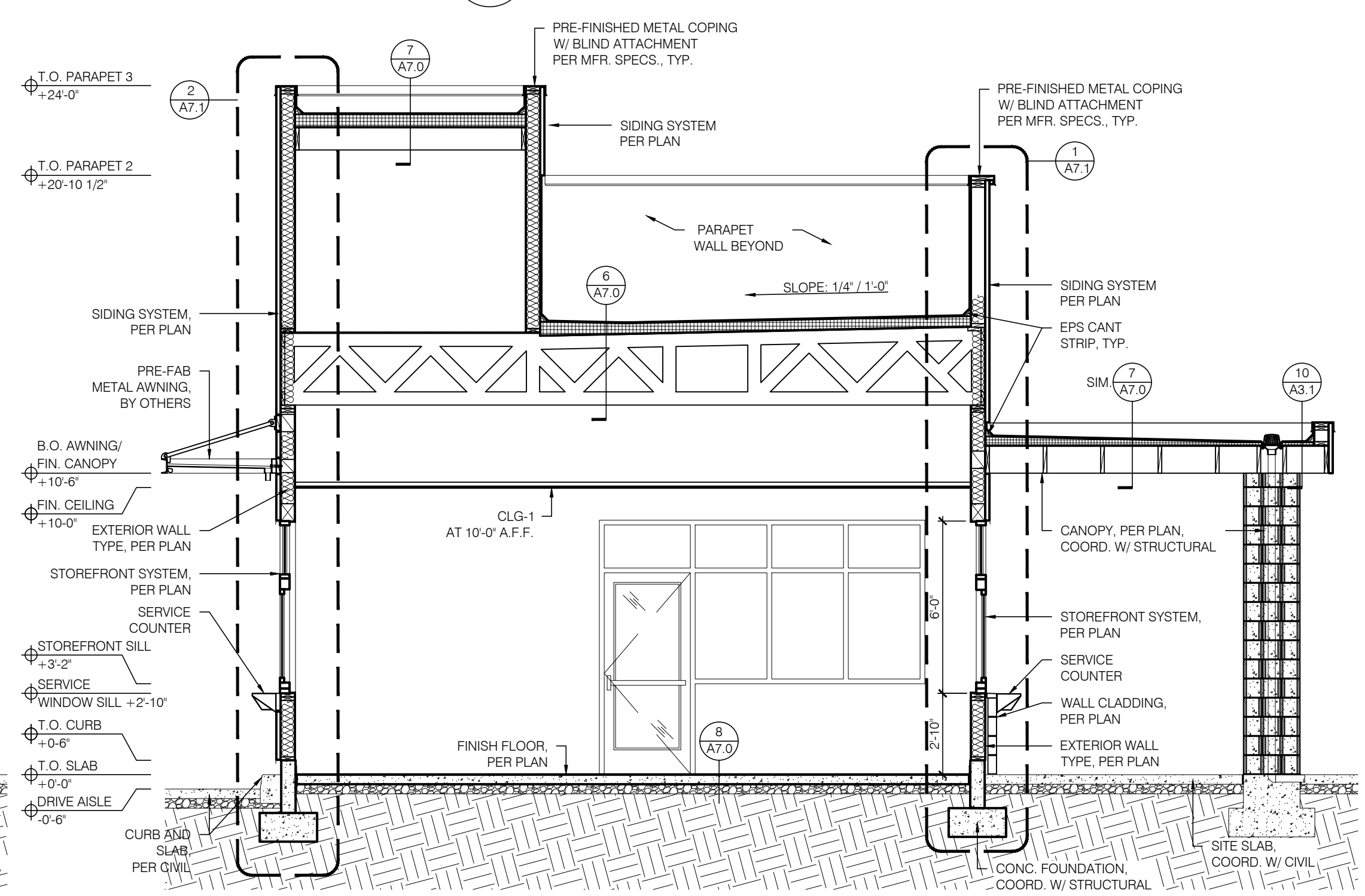
4 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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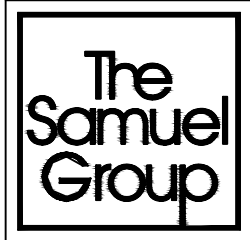
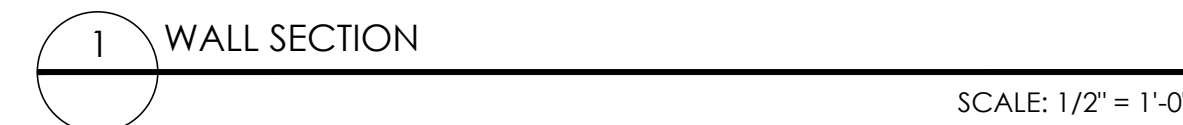
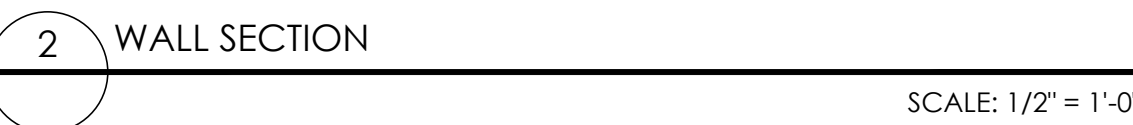
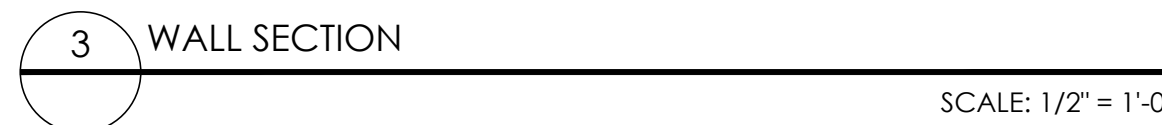
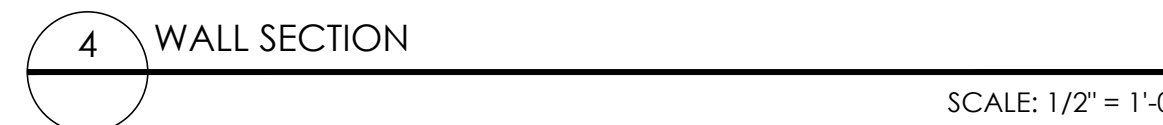
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BUILDING SECTIONS

SHEET NUMBER: _____

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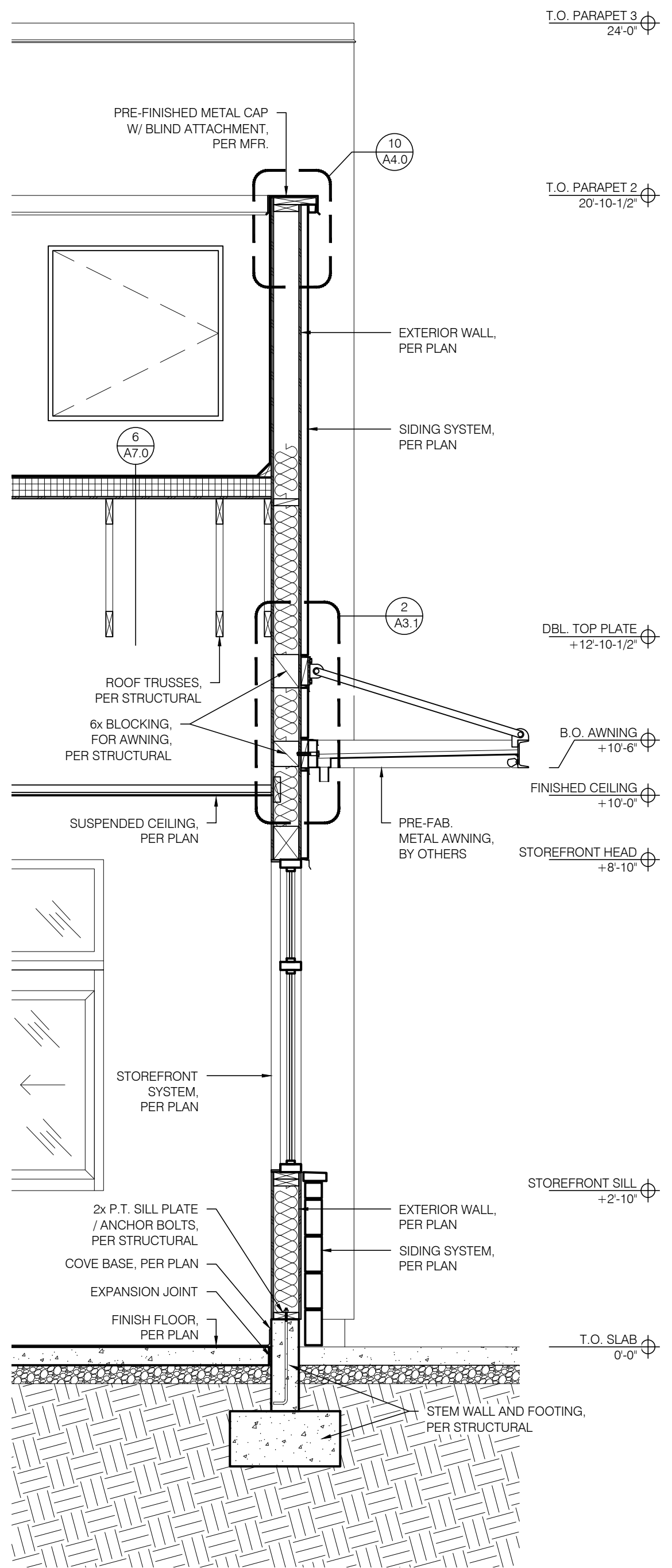
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WALL SECTIONS

SHEET NUMBER: _____

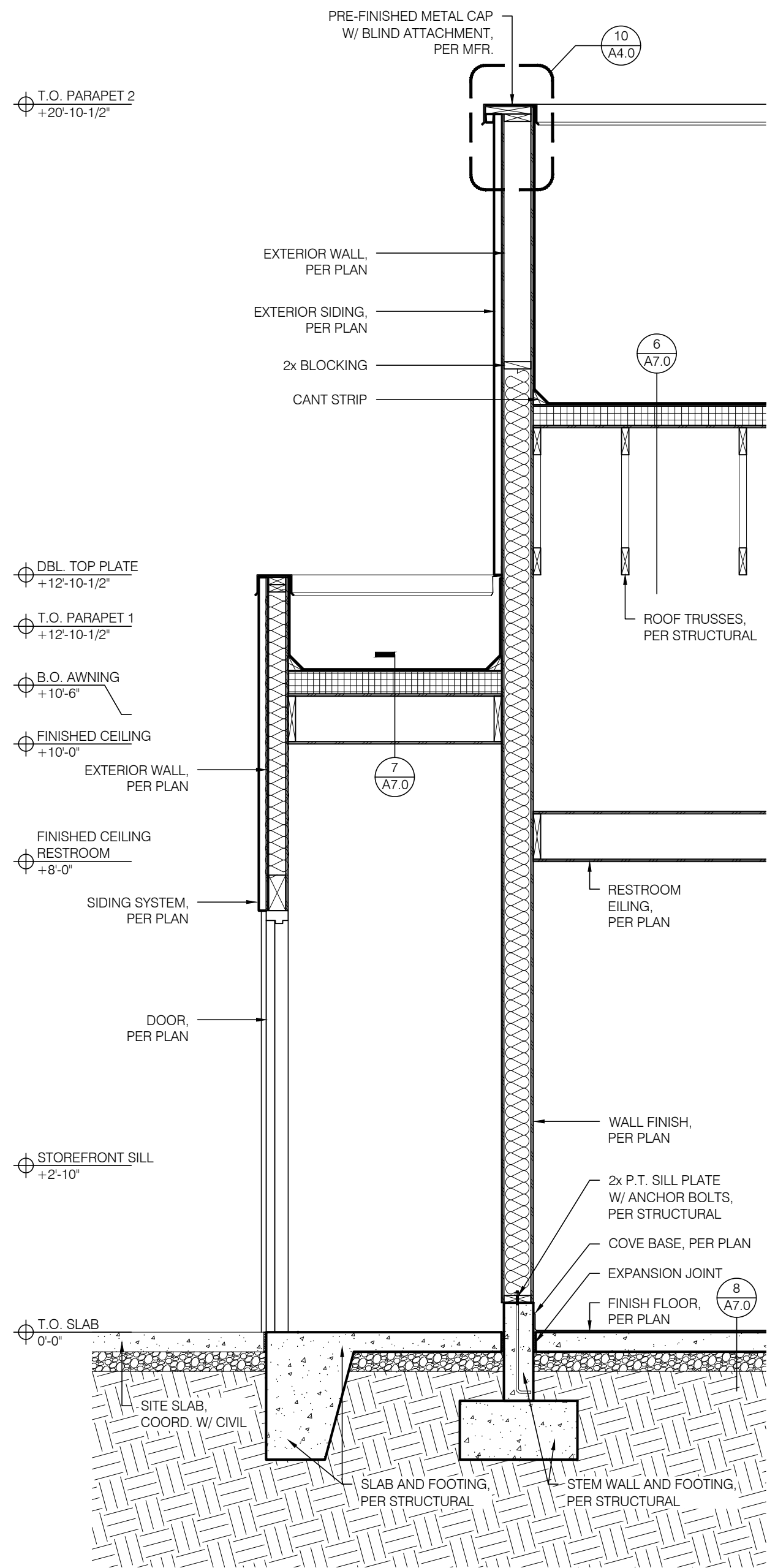
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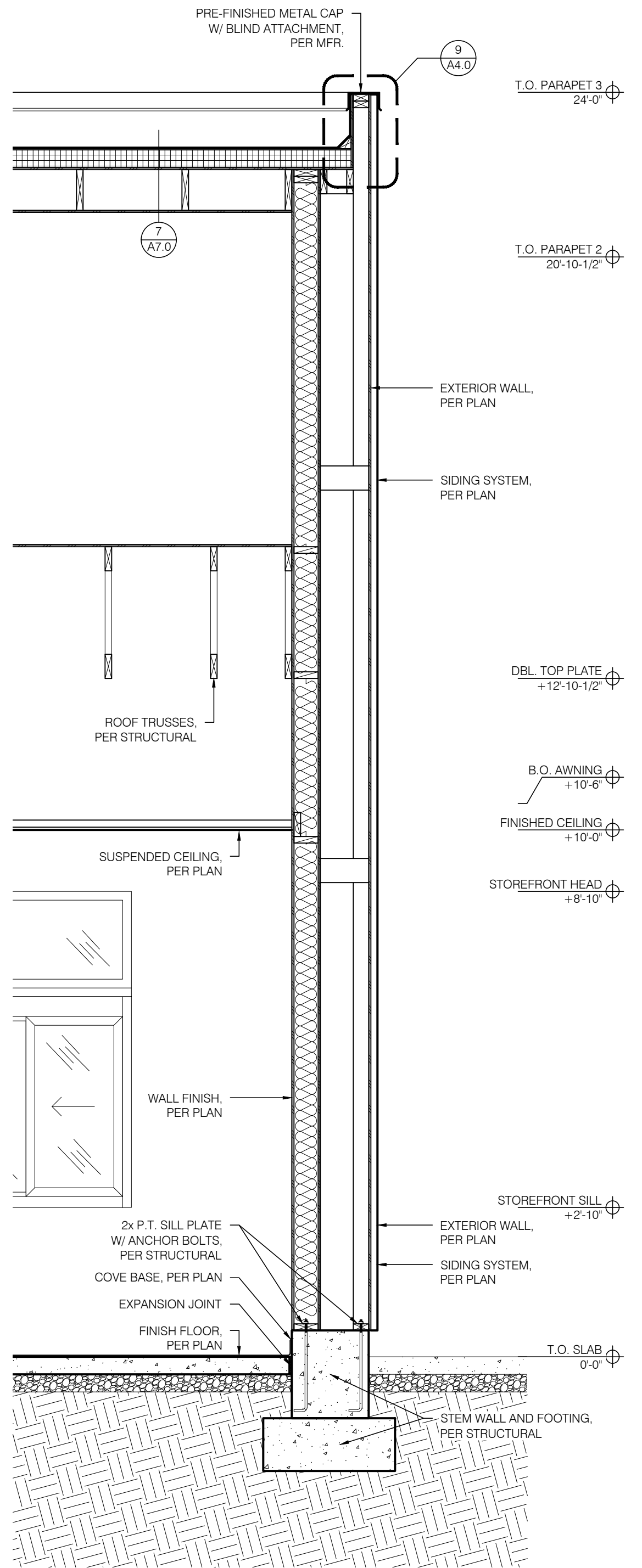
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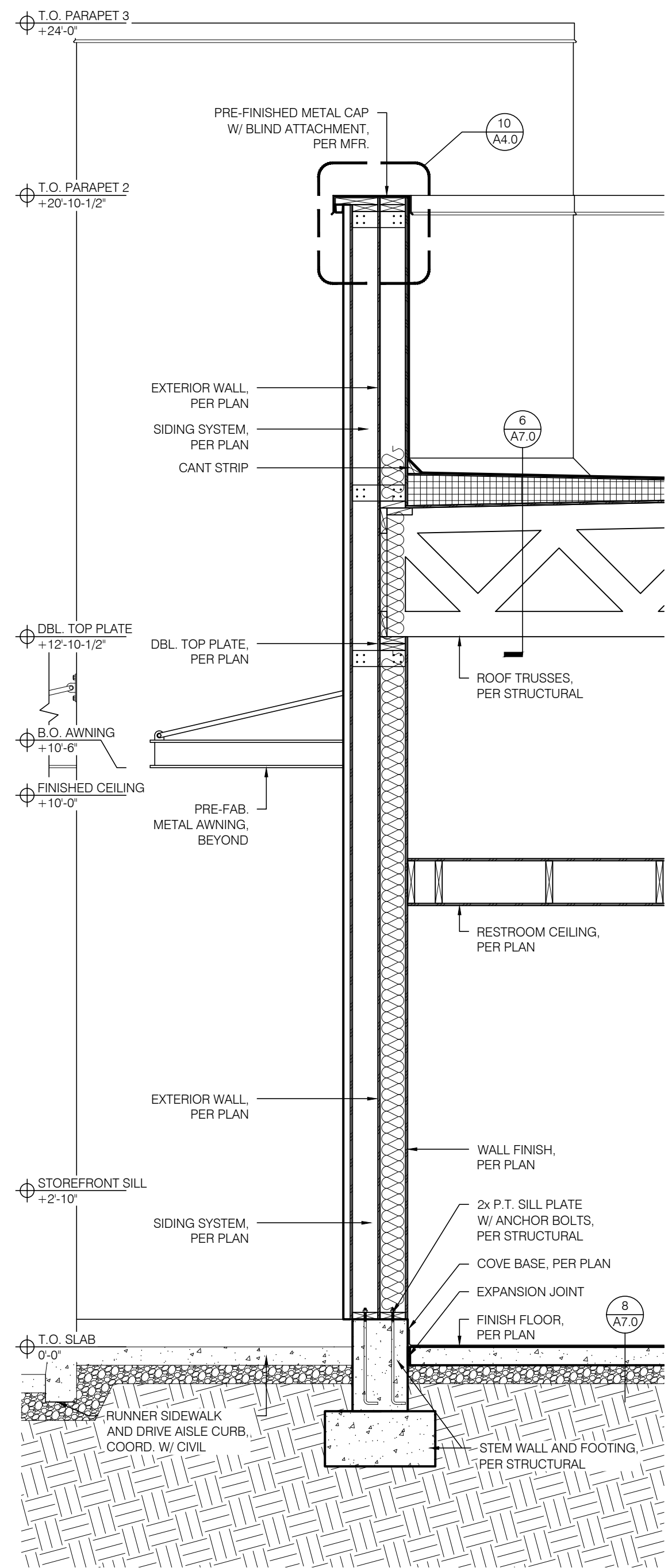
3 WALL SECTION

SCALE: 1/2" = 1'-0"



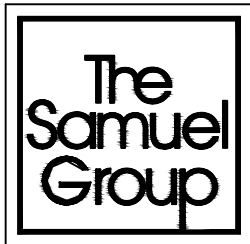
2 WALL SECTION

SCALE: 1/2" = 1'-0"



1 WALL SECTION

SCALE: 1/2" = 1'-0"



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SUITE 500
DALLAS, TX 75247
TEL: 214-922-8012
PROJECT NUMBER: 2235056



Project No: TX6402
Dutch Bros Coffee - New Freestanding Store
1123 SE Military Dr
San Antonio, TX 78214
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

ISSUED FOR PERMIT
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02.20.2023

REV: DATE: DESCRIPTION:

SHEET NAME:

WALL SECTIONS

SHEET NUMBER:

A7.2

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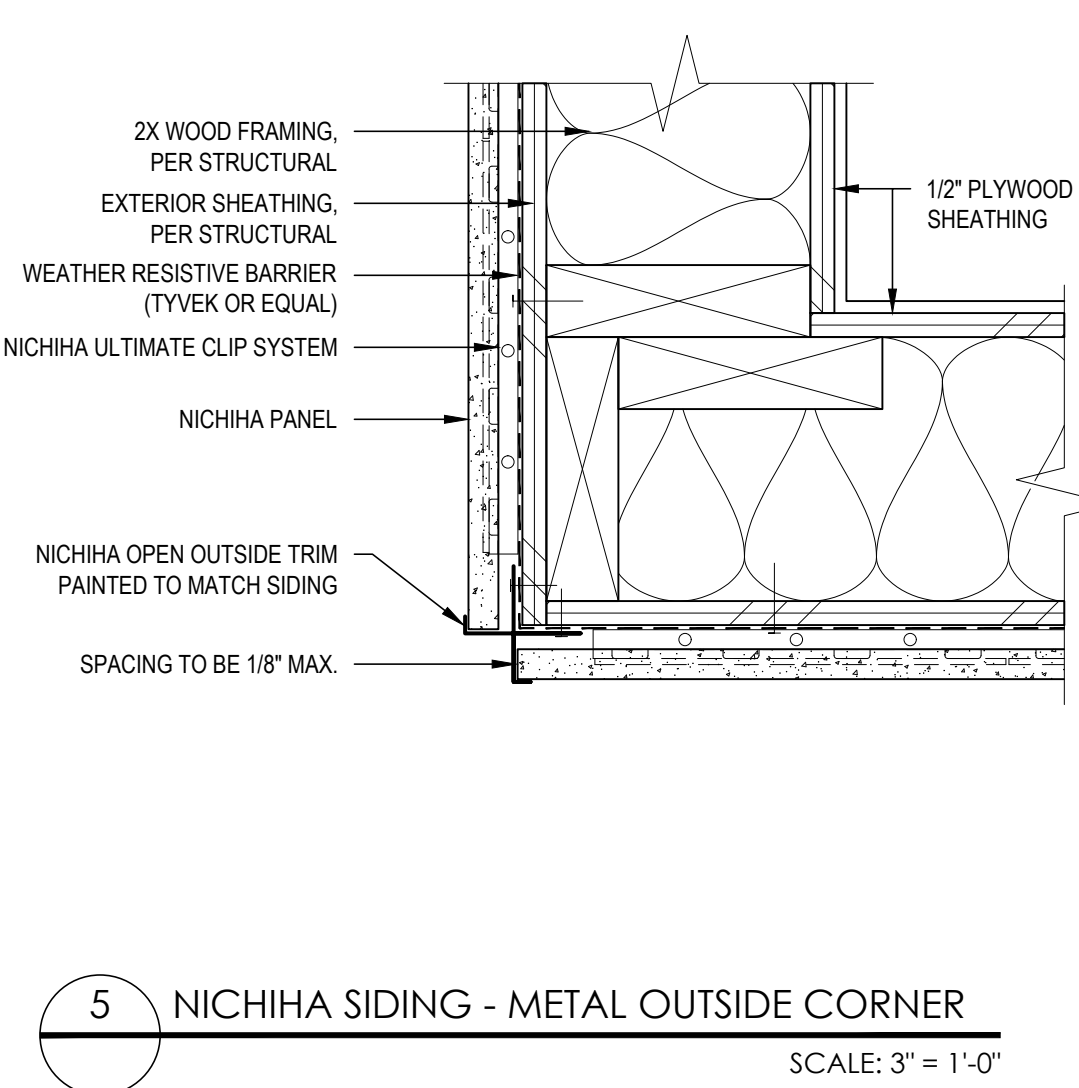
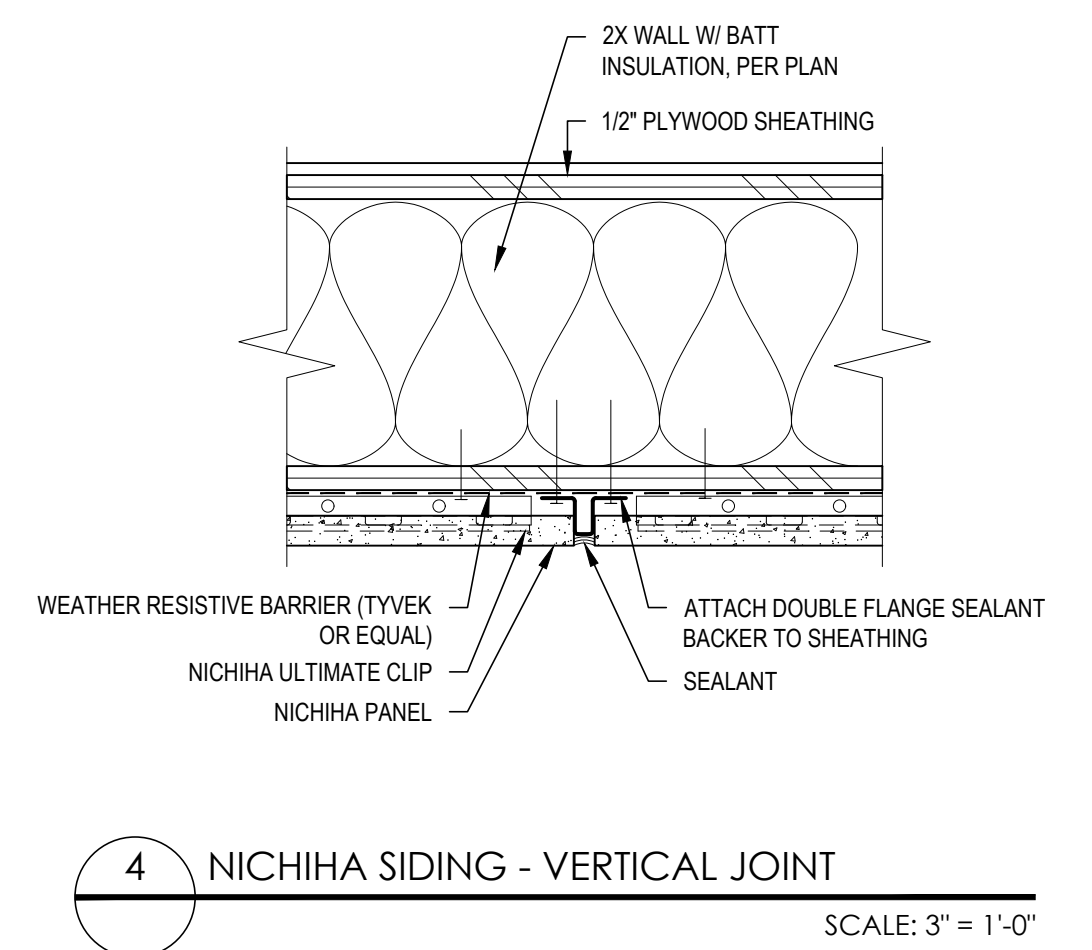
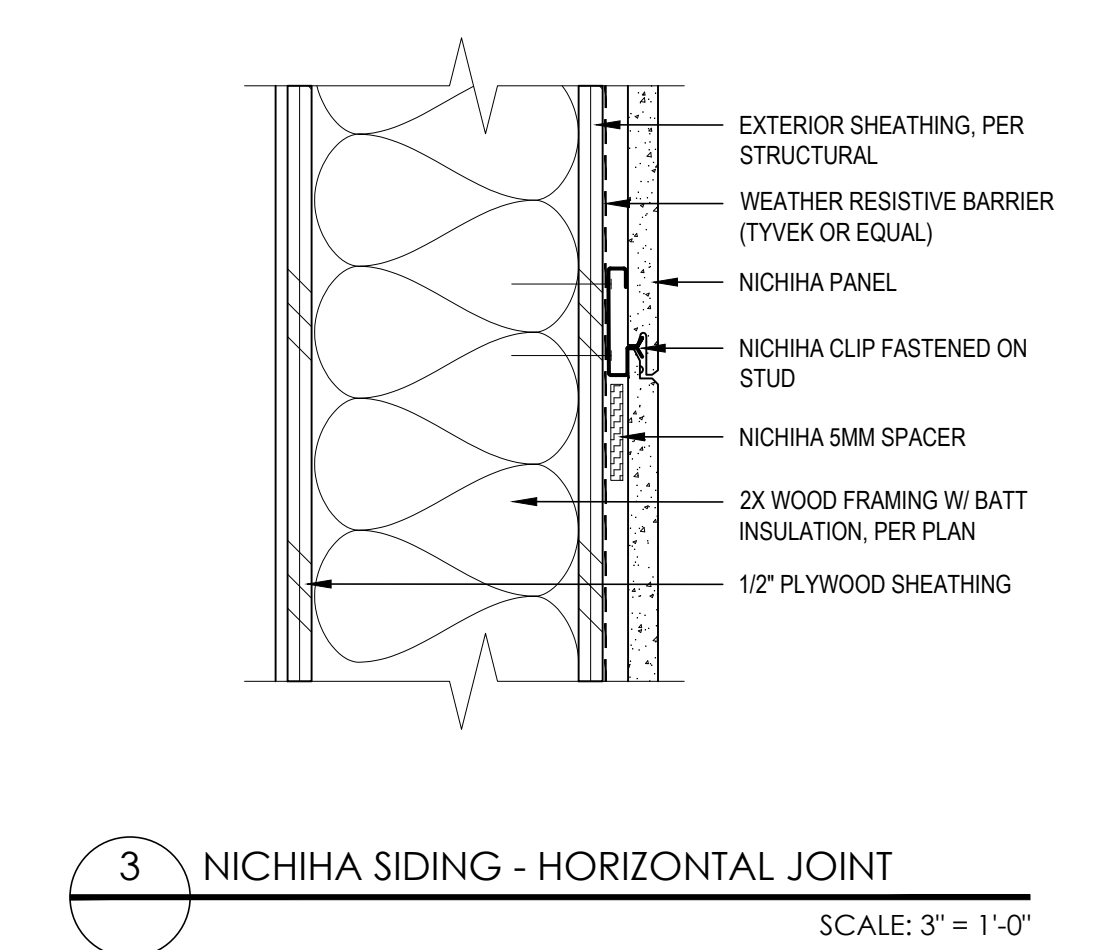
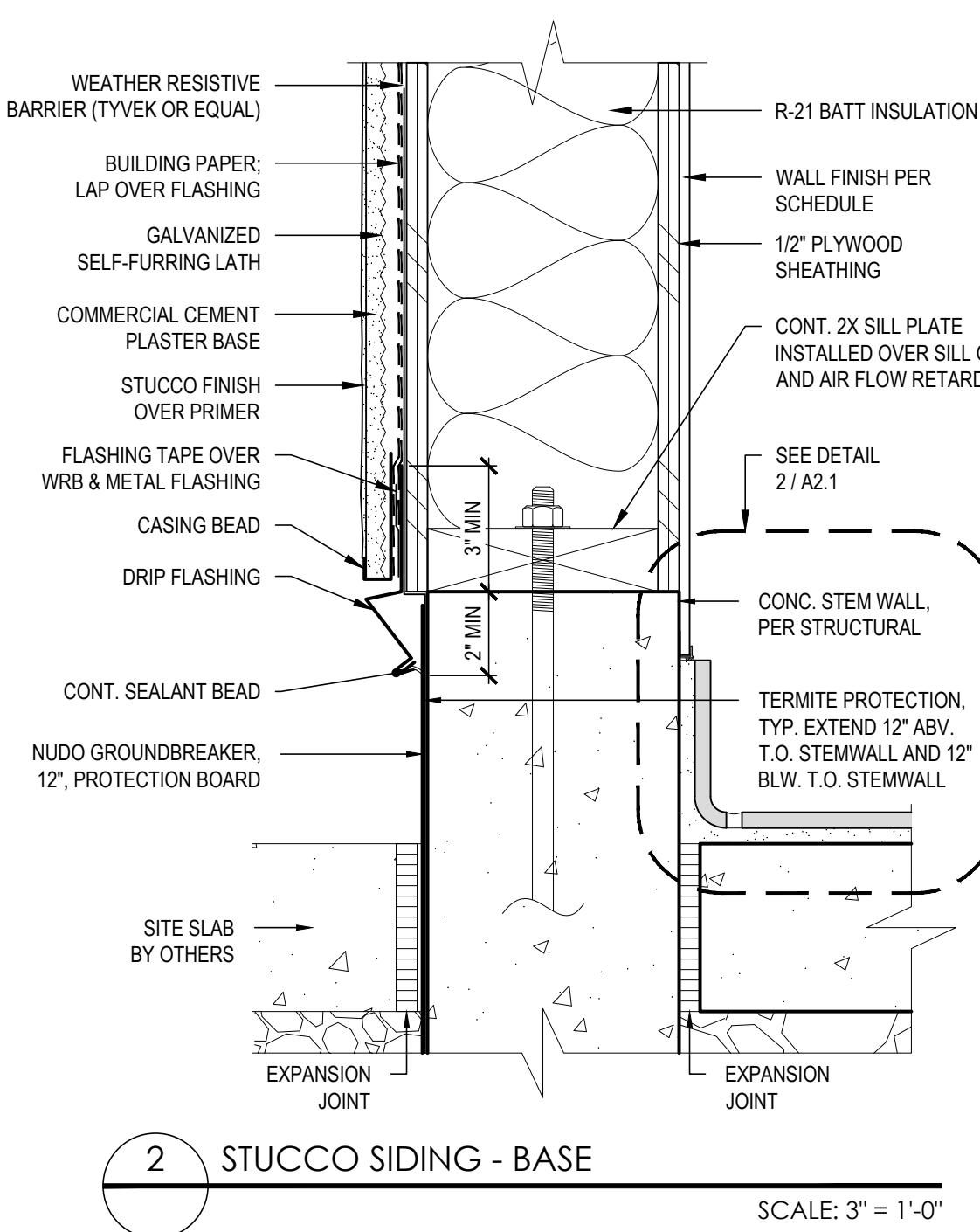
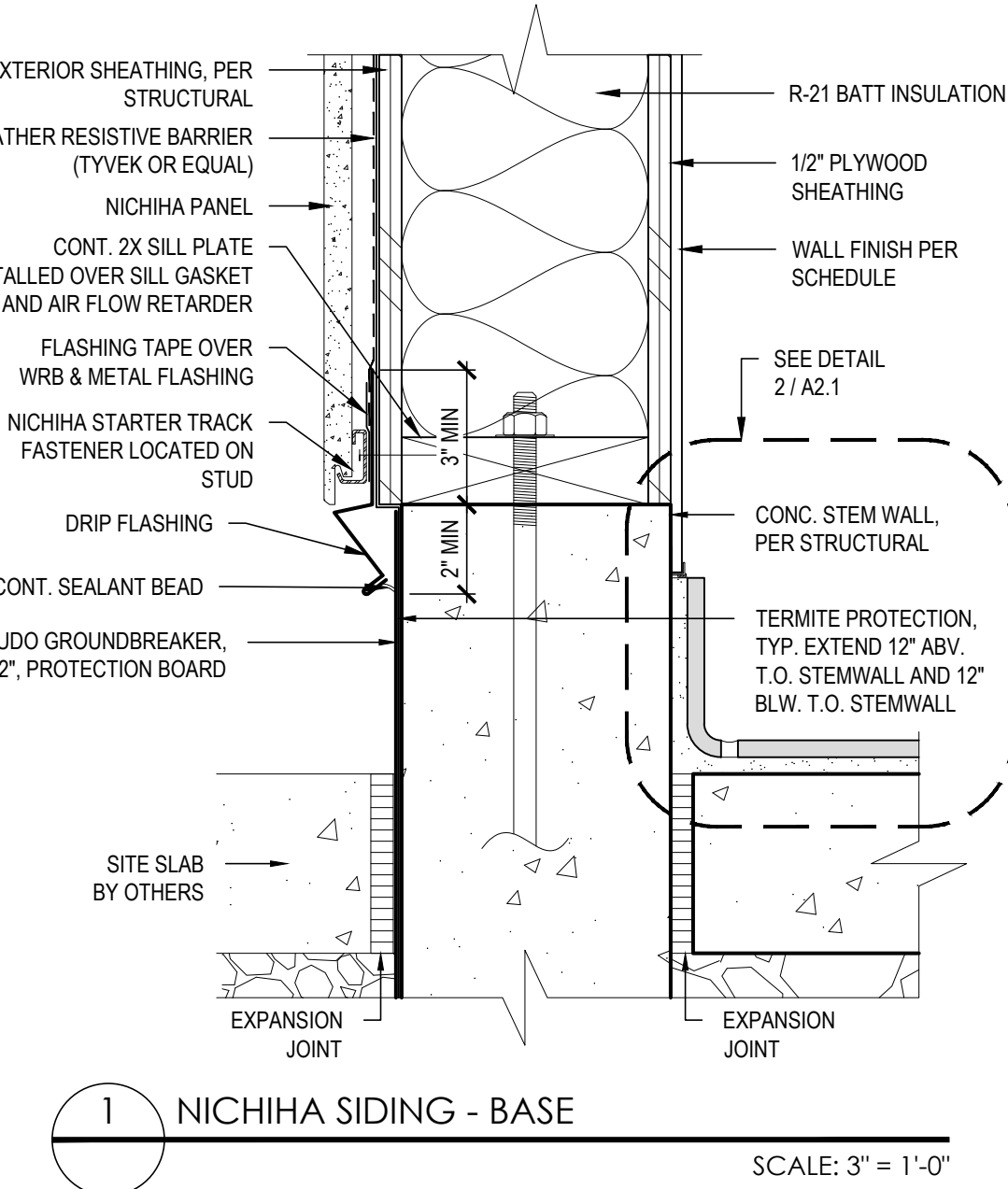
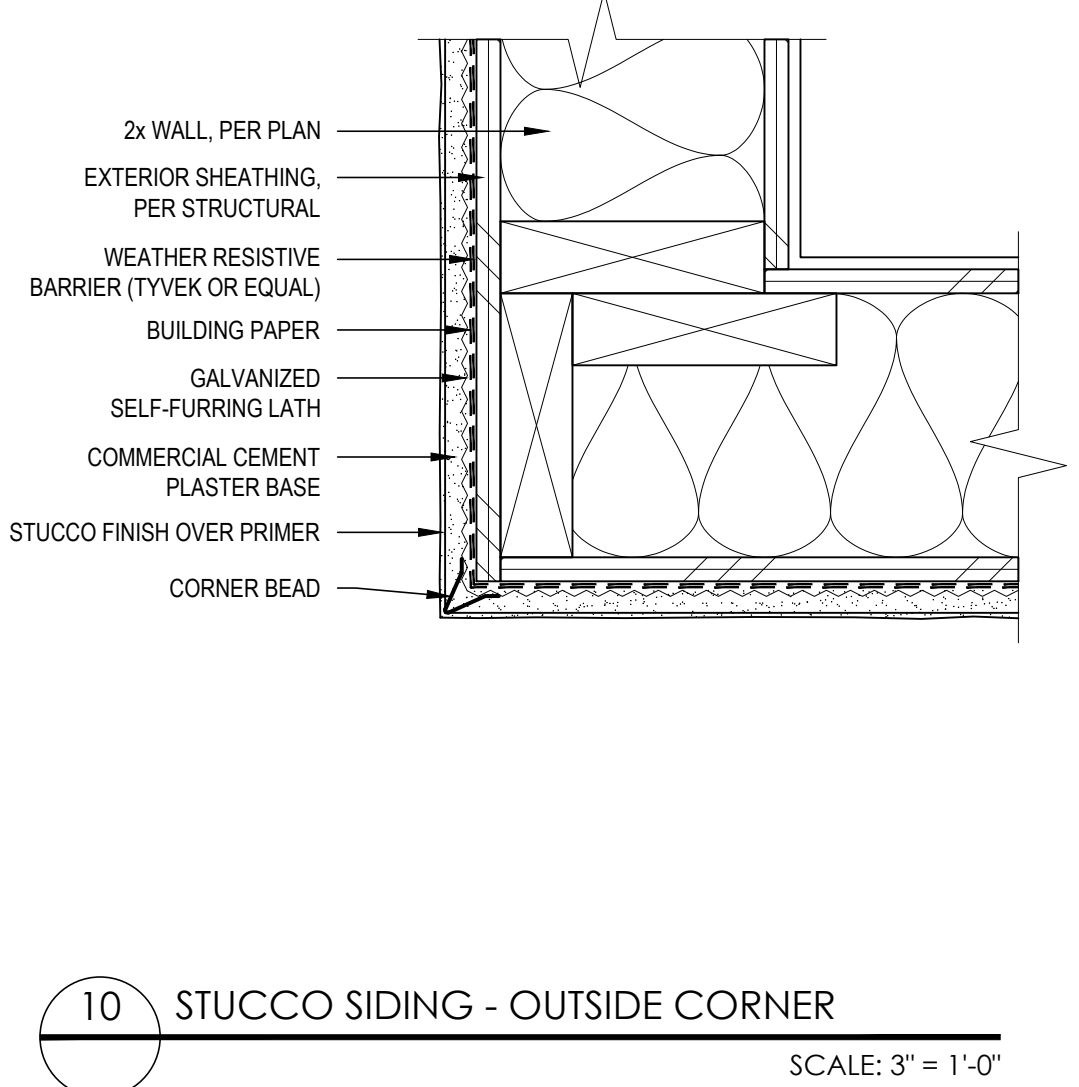
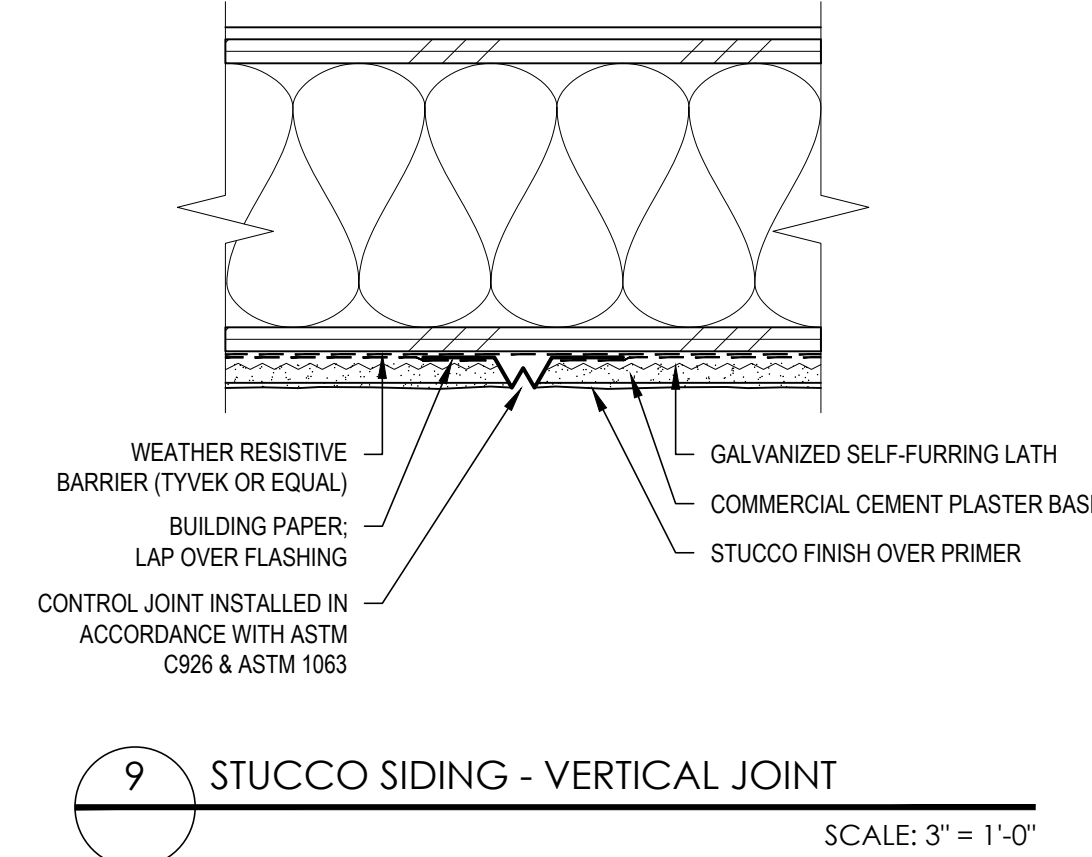
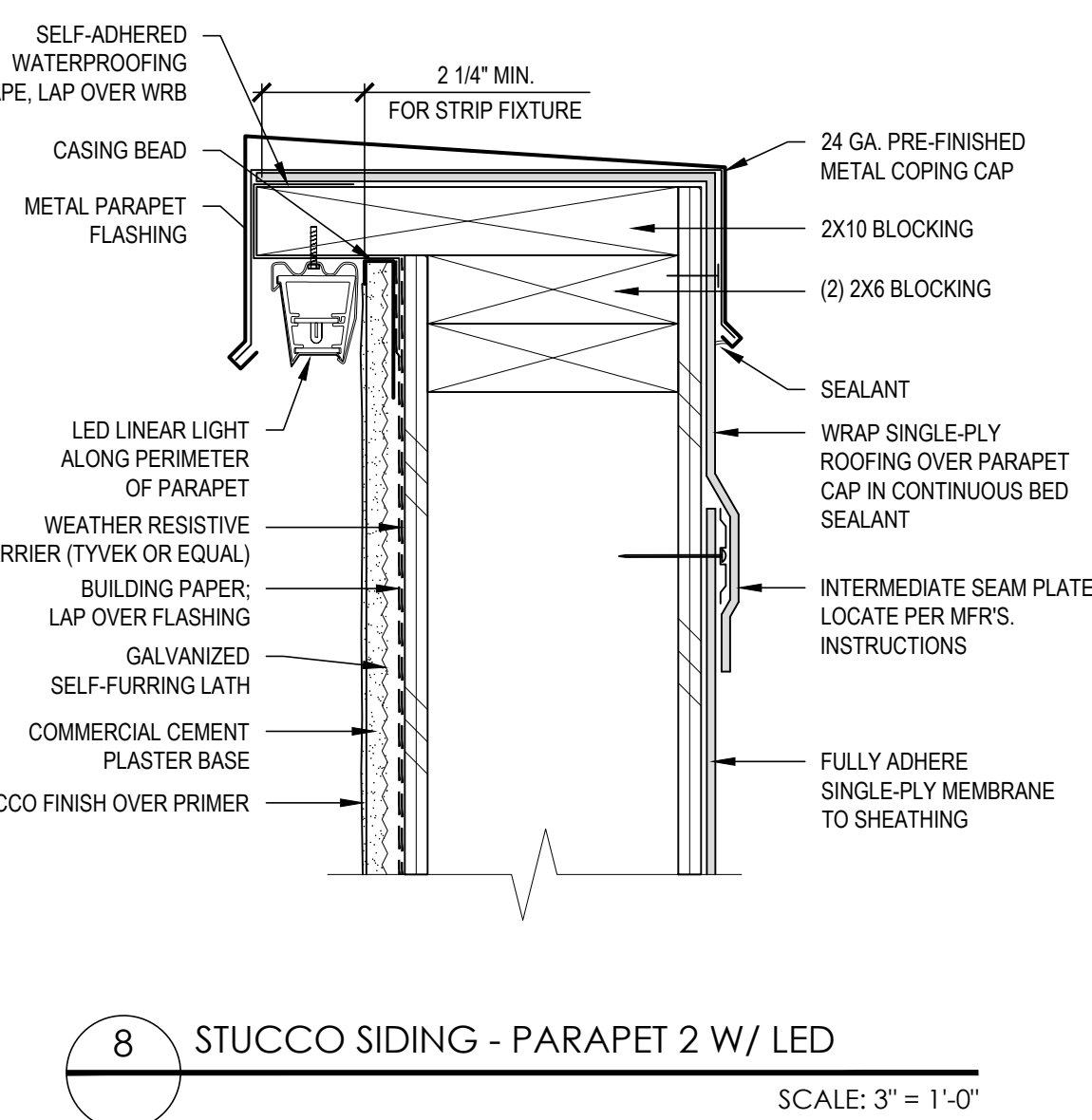
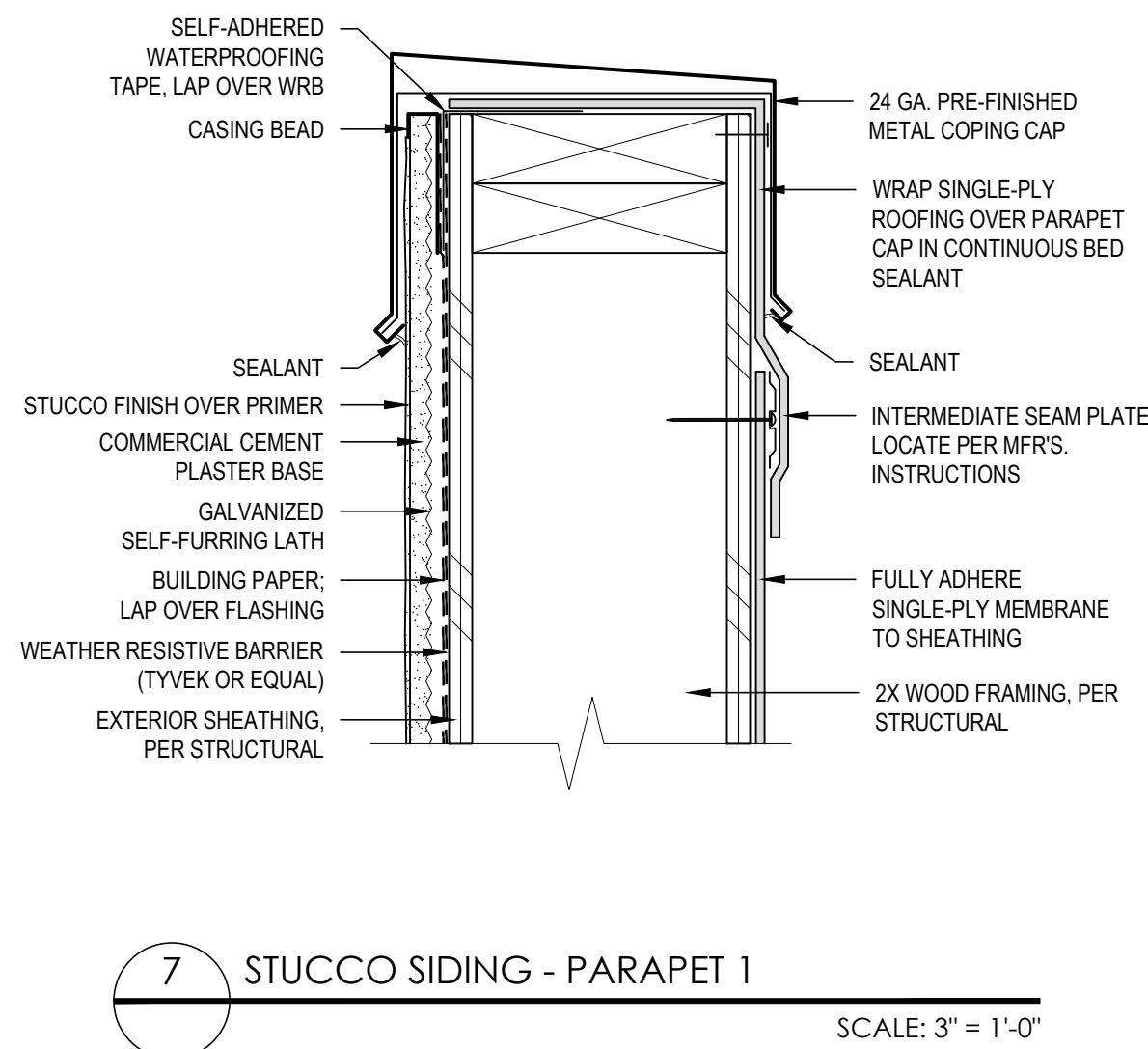
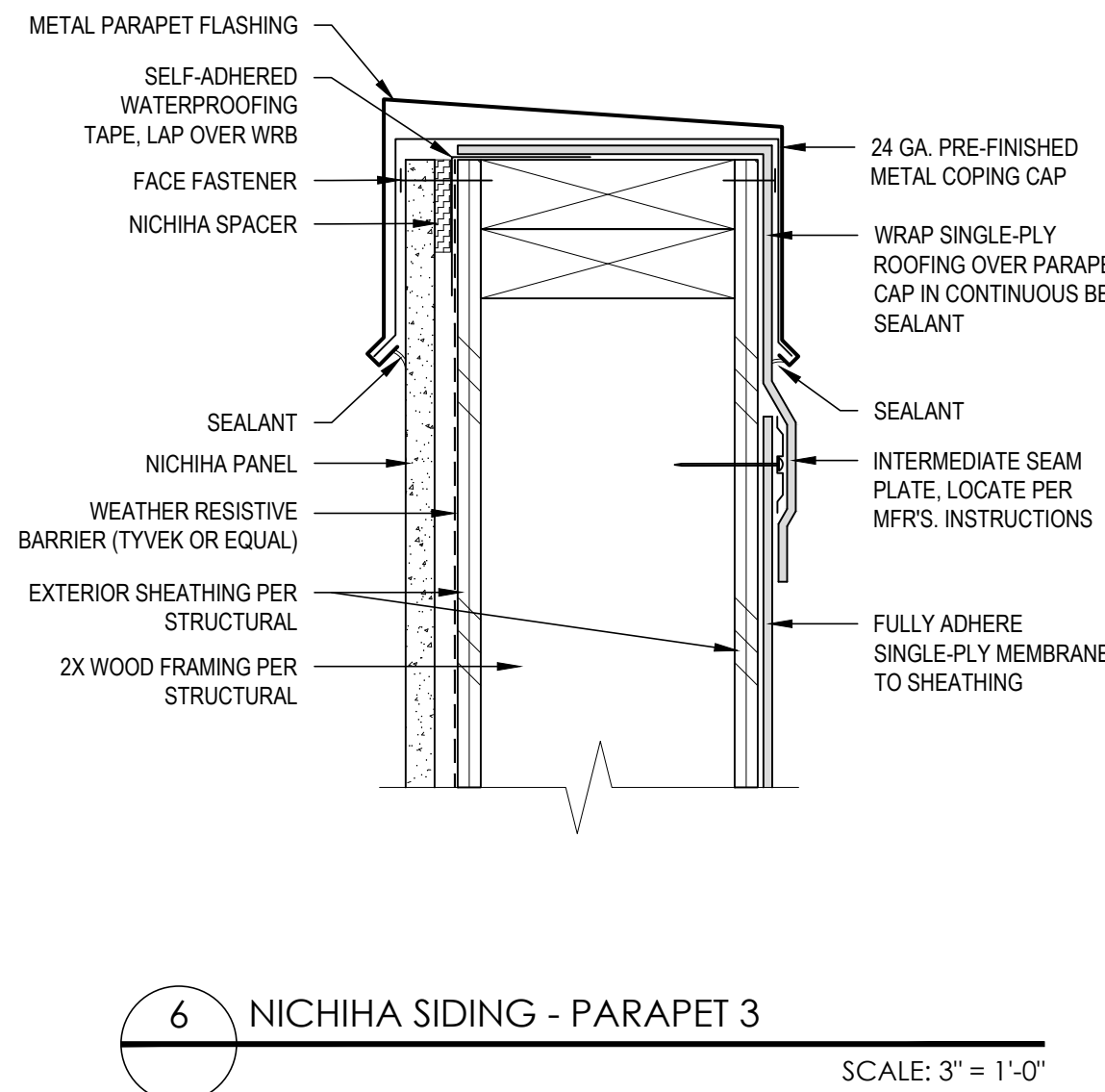
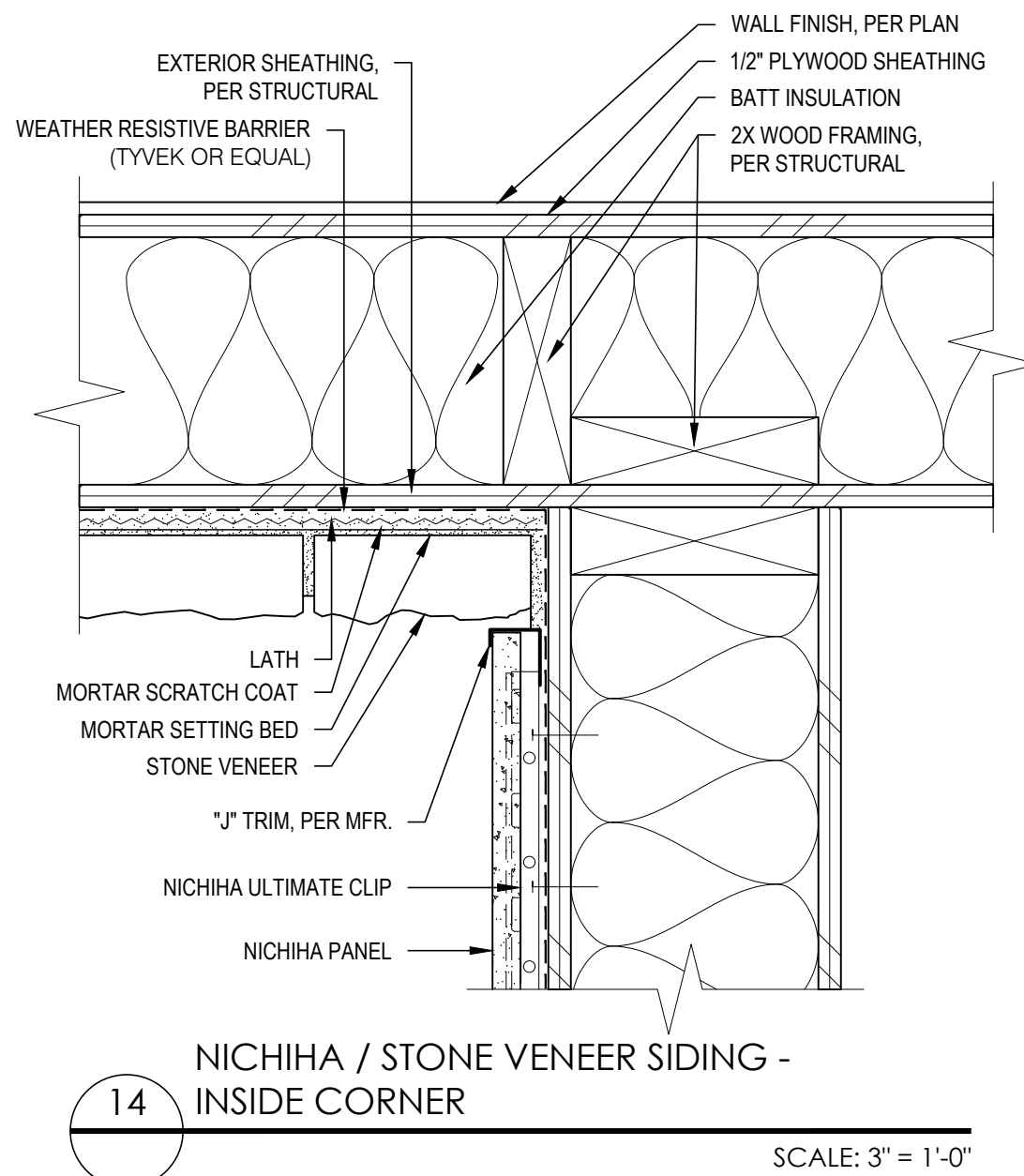
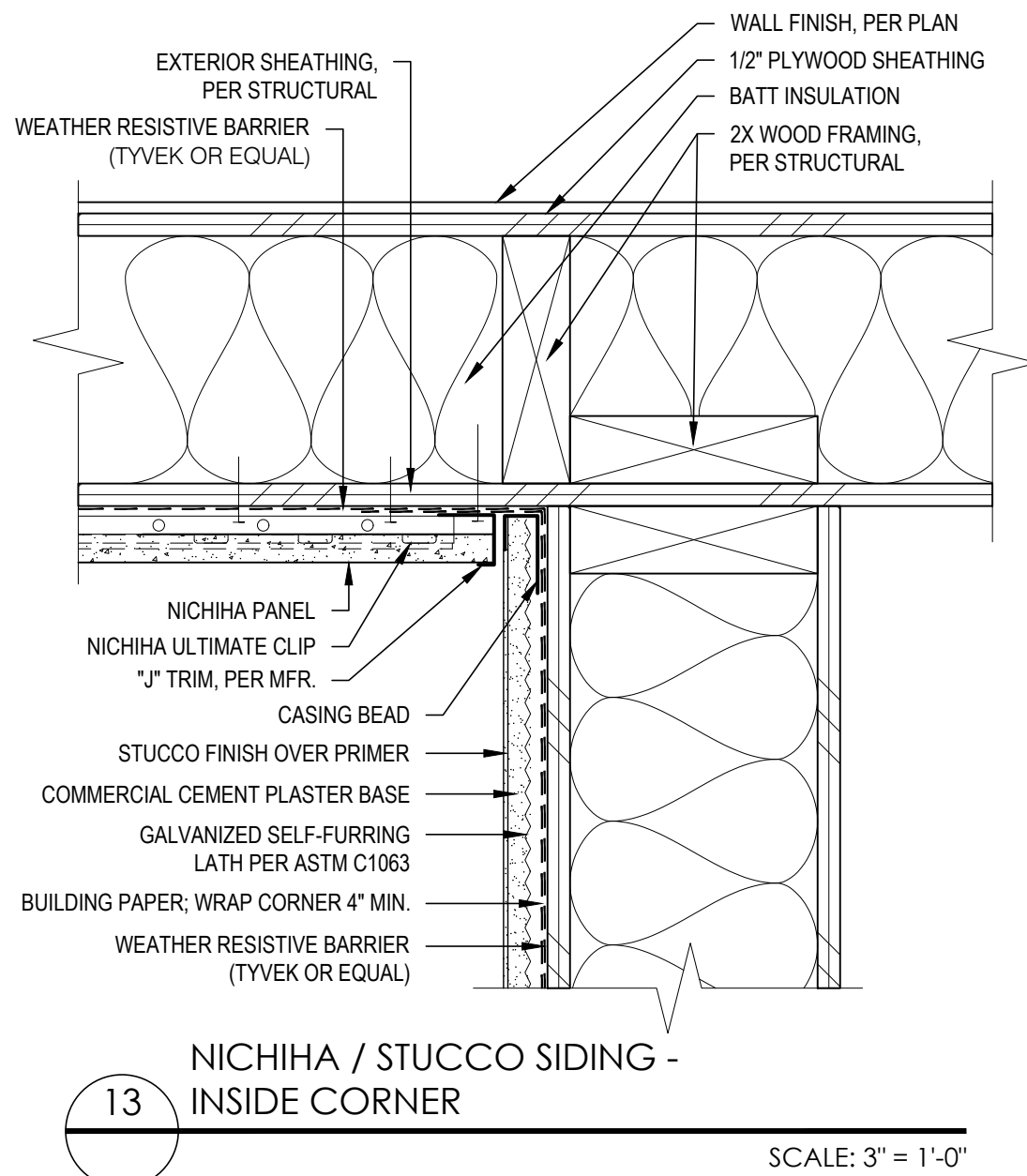
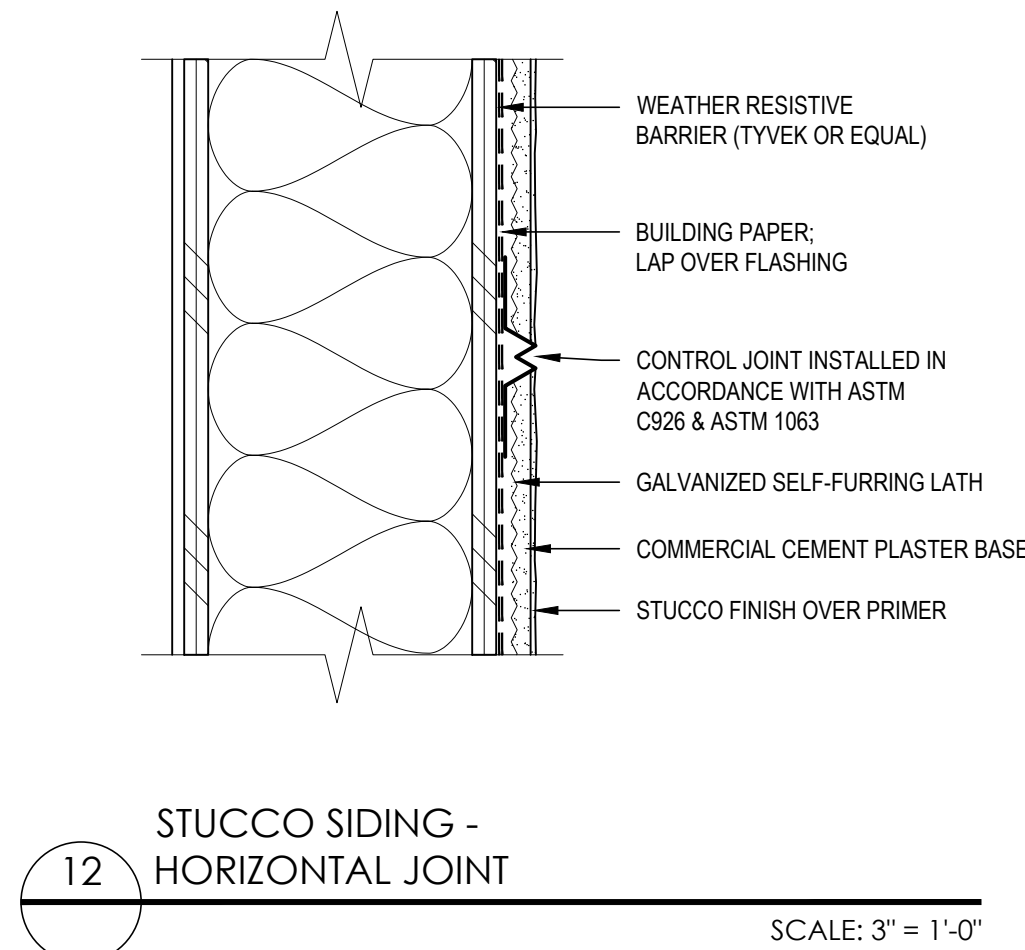
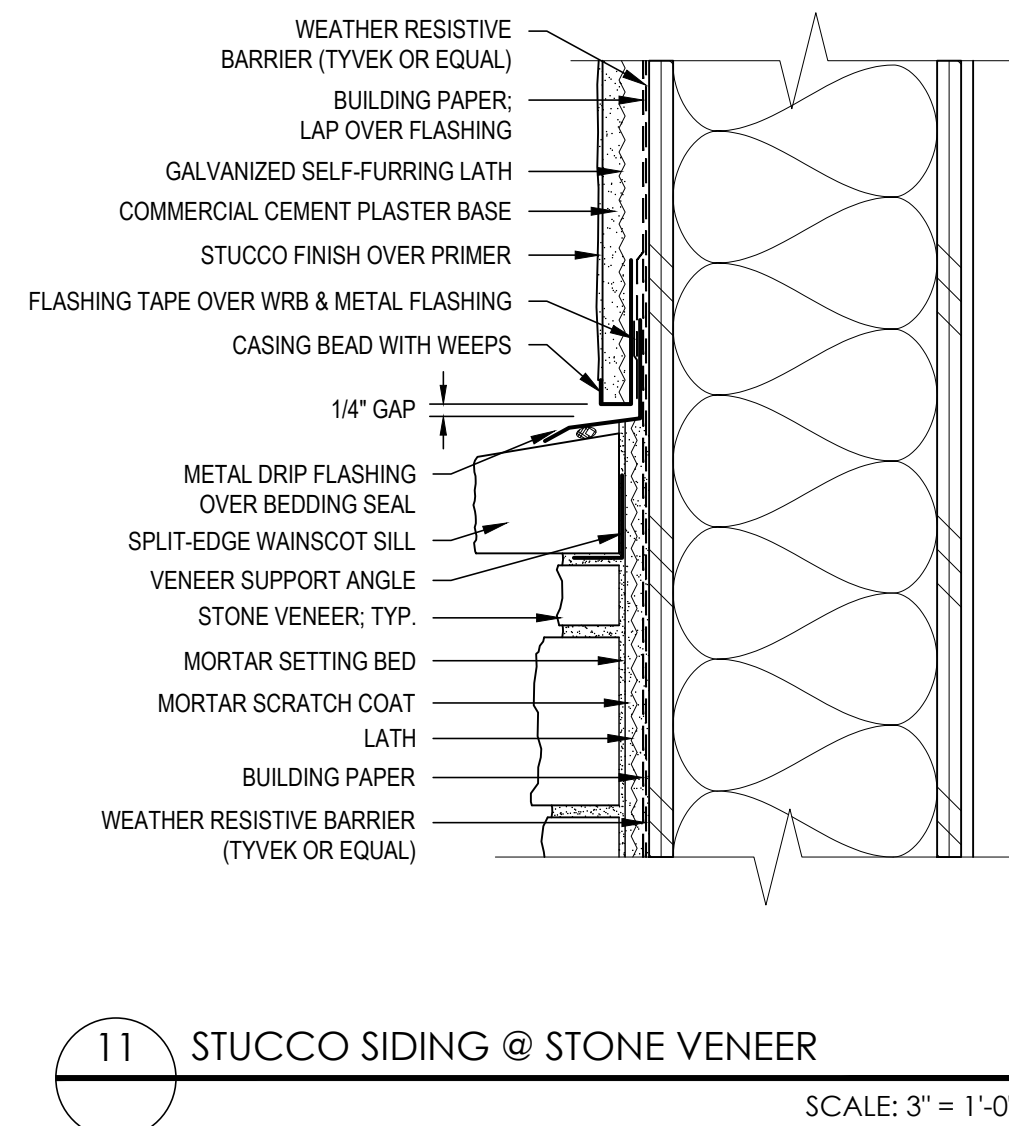
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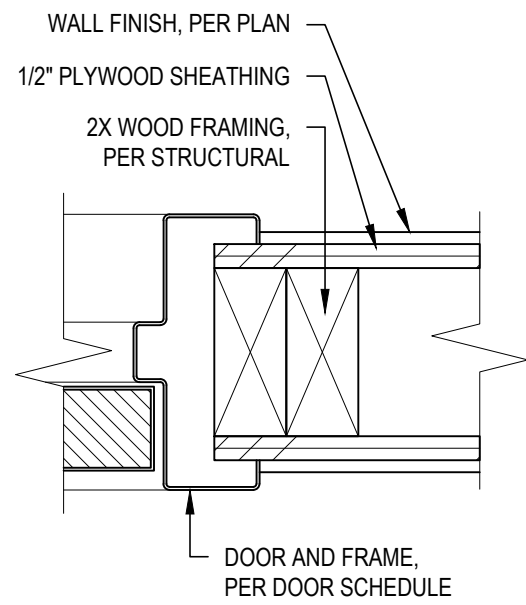
BUILDING DETAILS

SHEET NUMBER

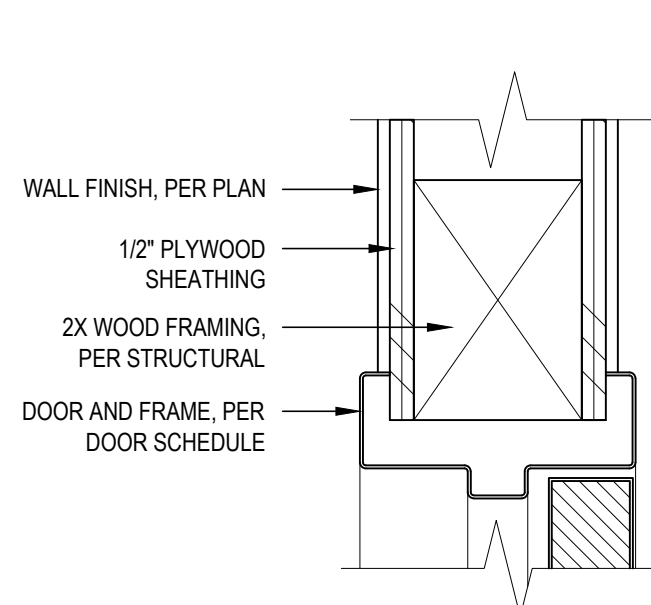
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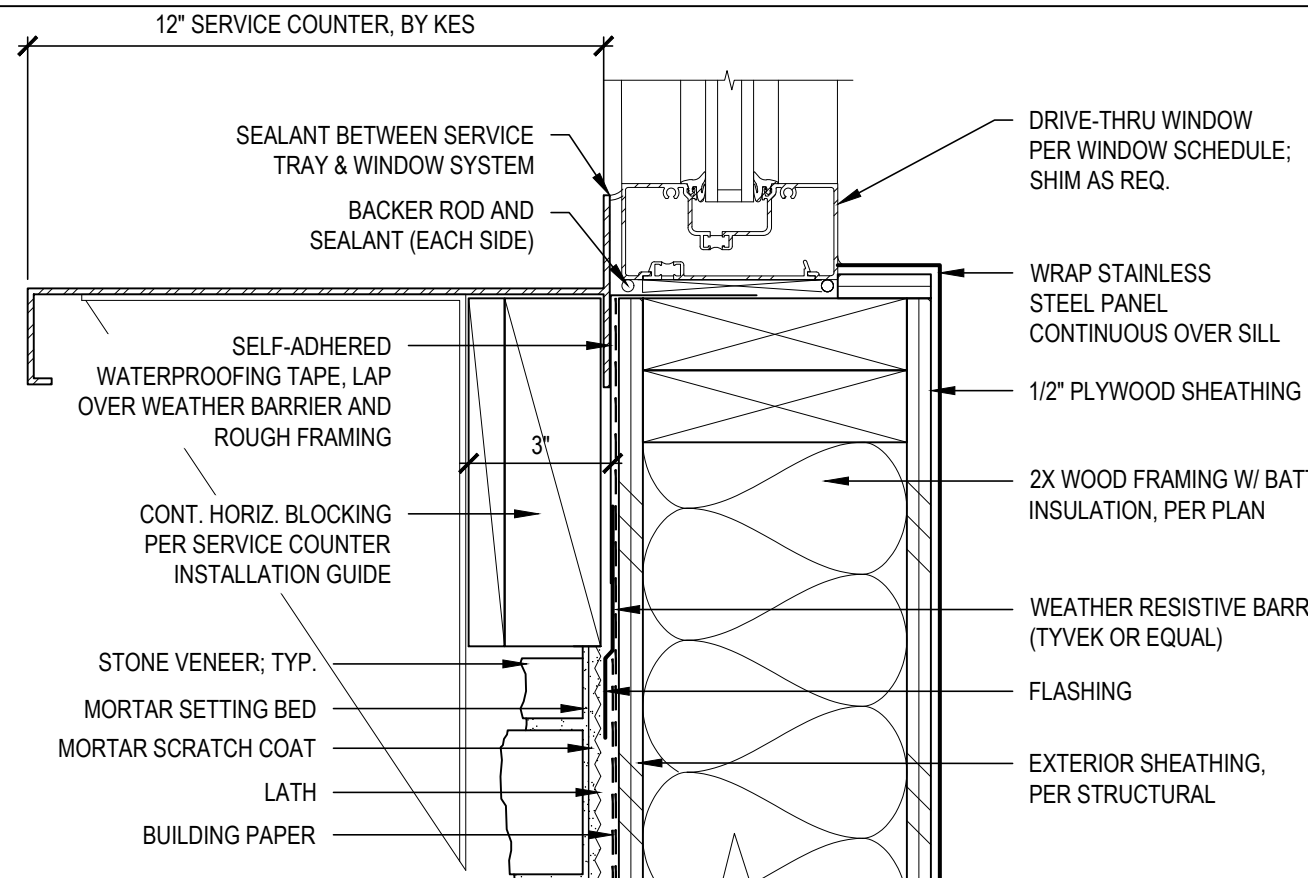




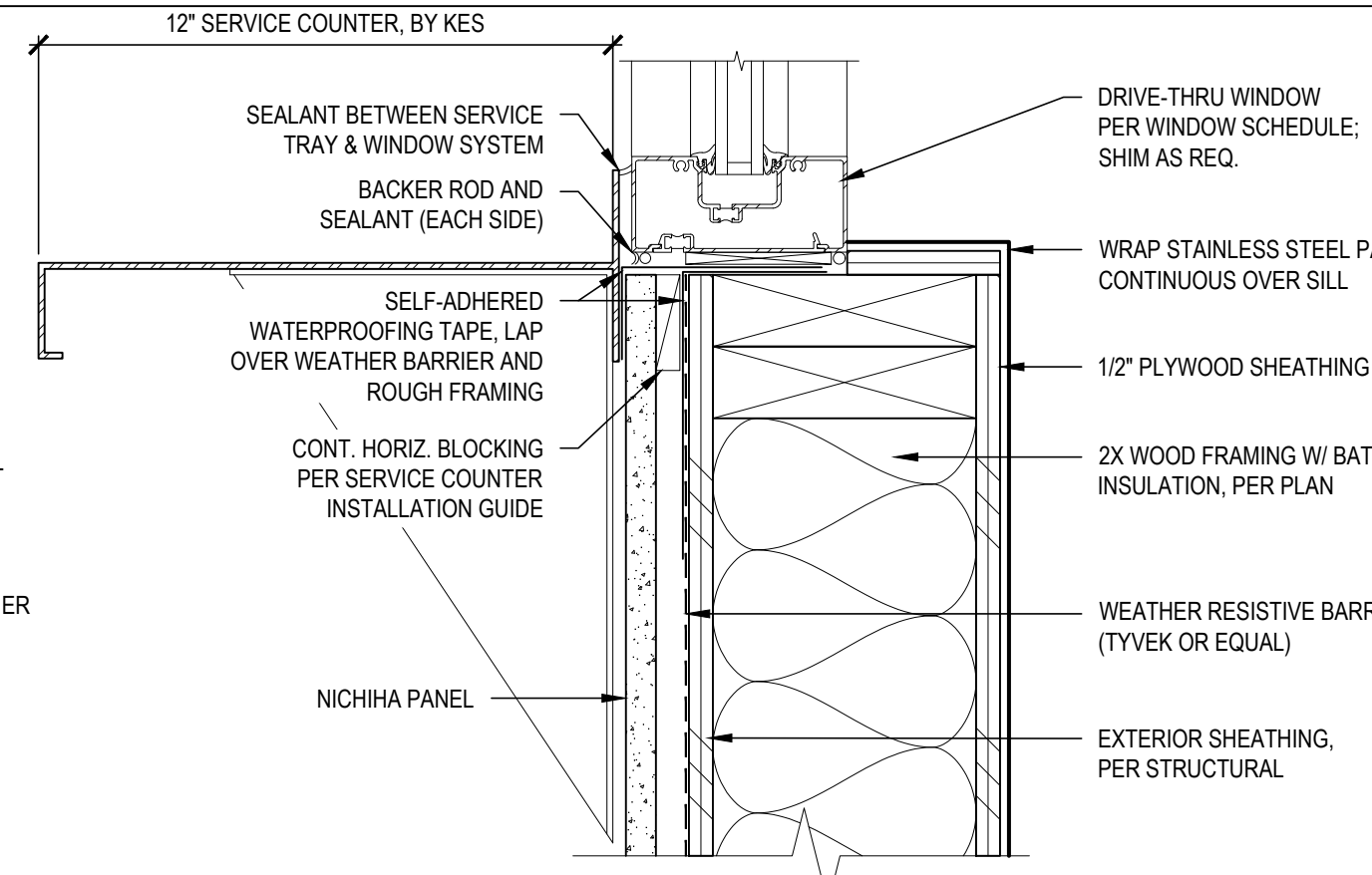
17 INTERIOR H.M. DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



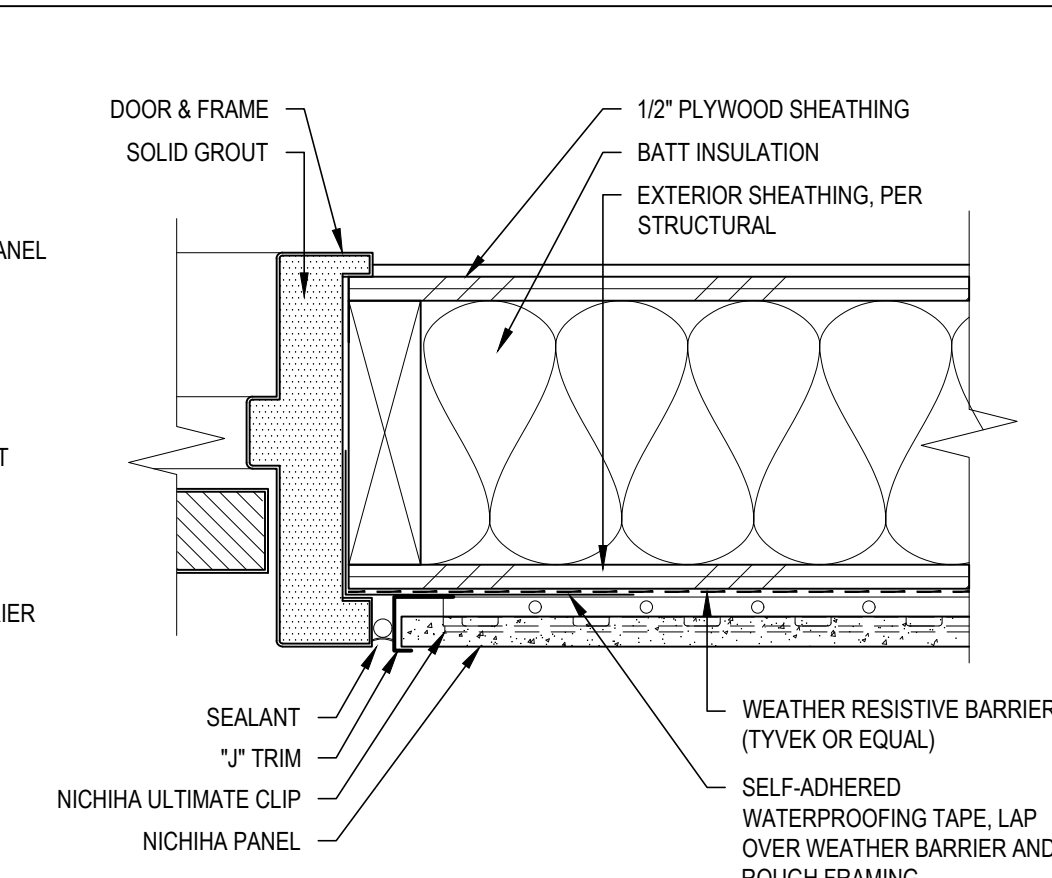
16 INTERIOR H.M. DOOR HEAD DETAIL
SCALE: 3" = 1'-0"



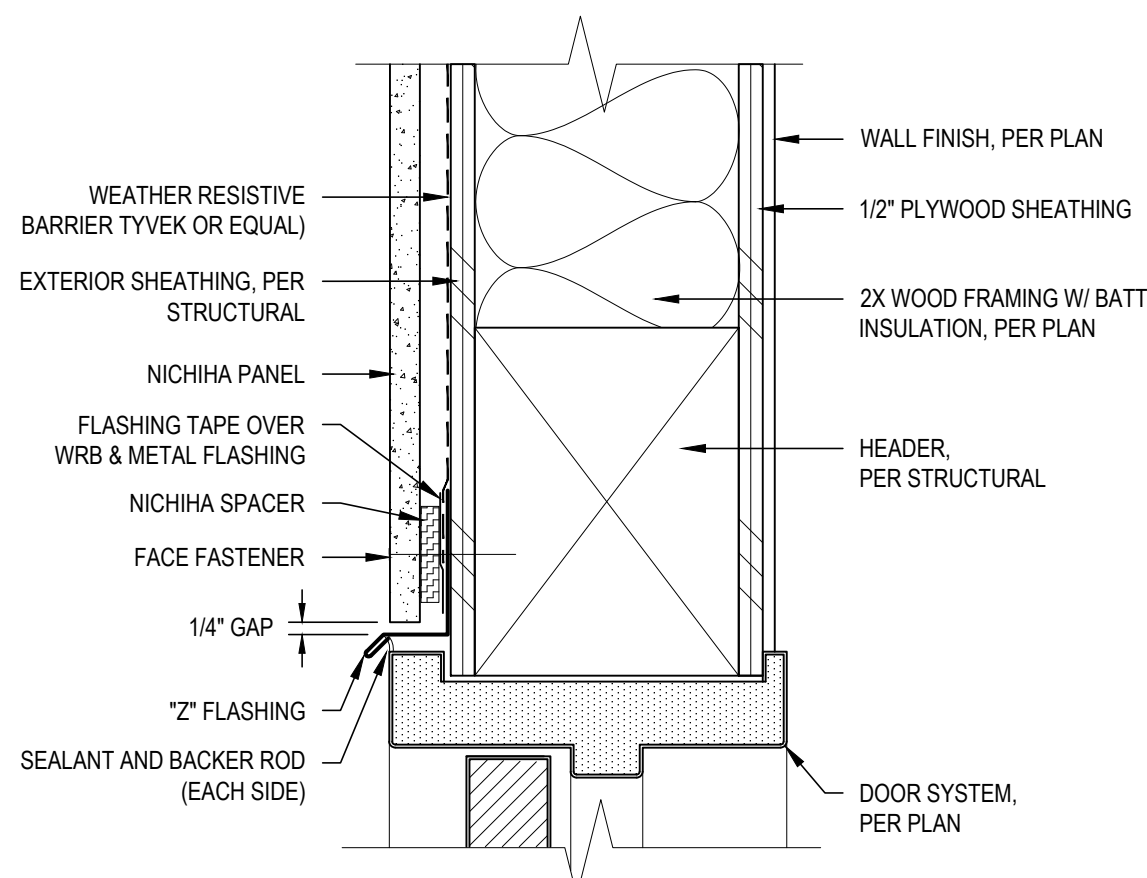
15 SERVICE COUNTER @ WALK-UP WINDOW -
STONE VENEER
SCALE: 3" = 1'-0"



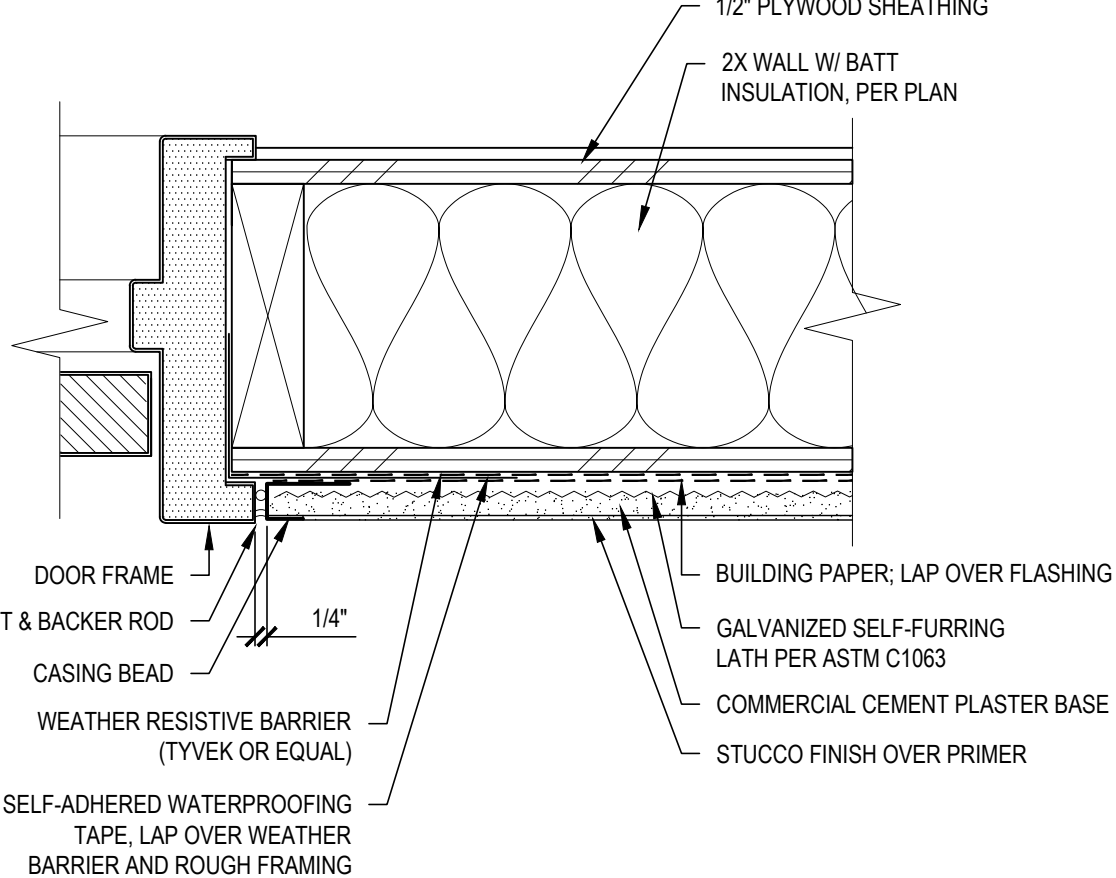
14 SERVICE COUNTER @ DRIVE-THRU
WINDOW - NICHIBA SIDING
SCALE: 3" = 1'-0"



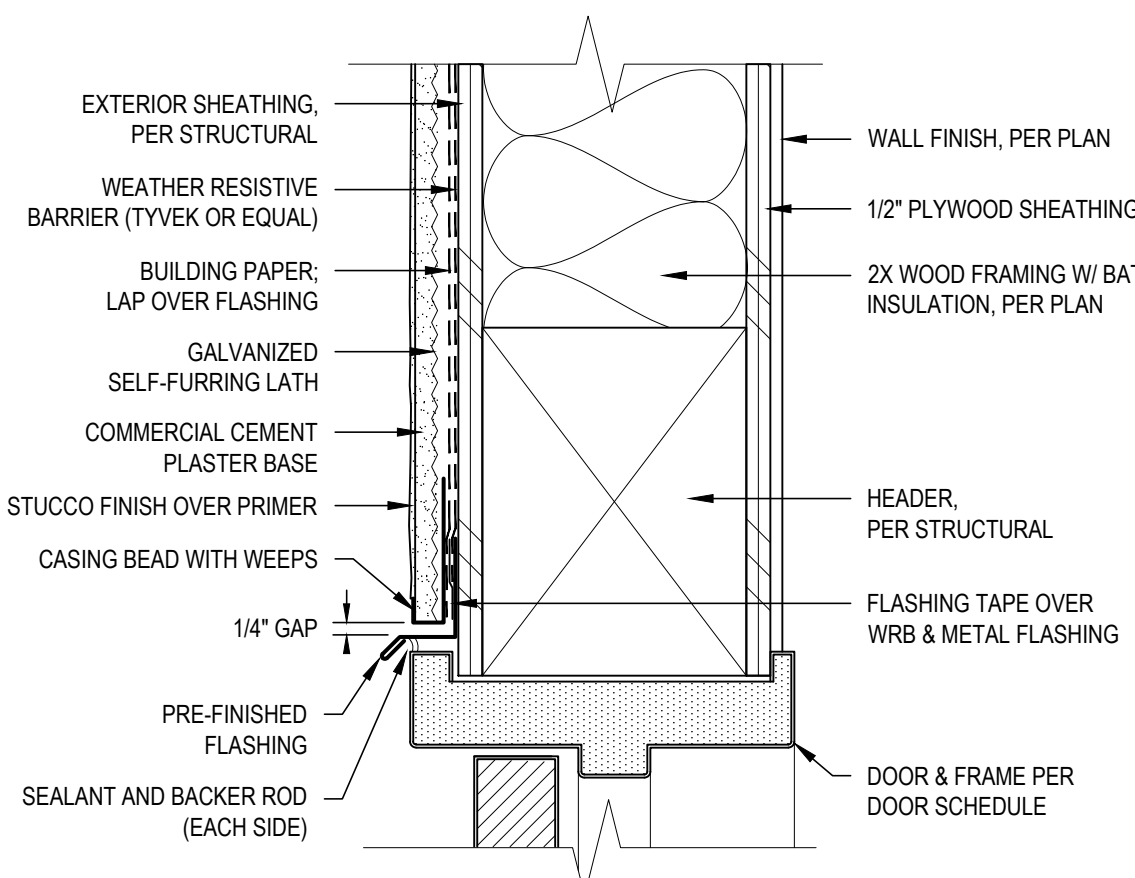
13 H.M. DOOR JAMB @ NICHIBA SIDING
SCALE: 3" = 1'-0"



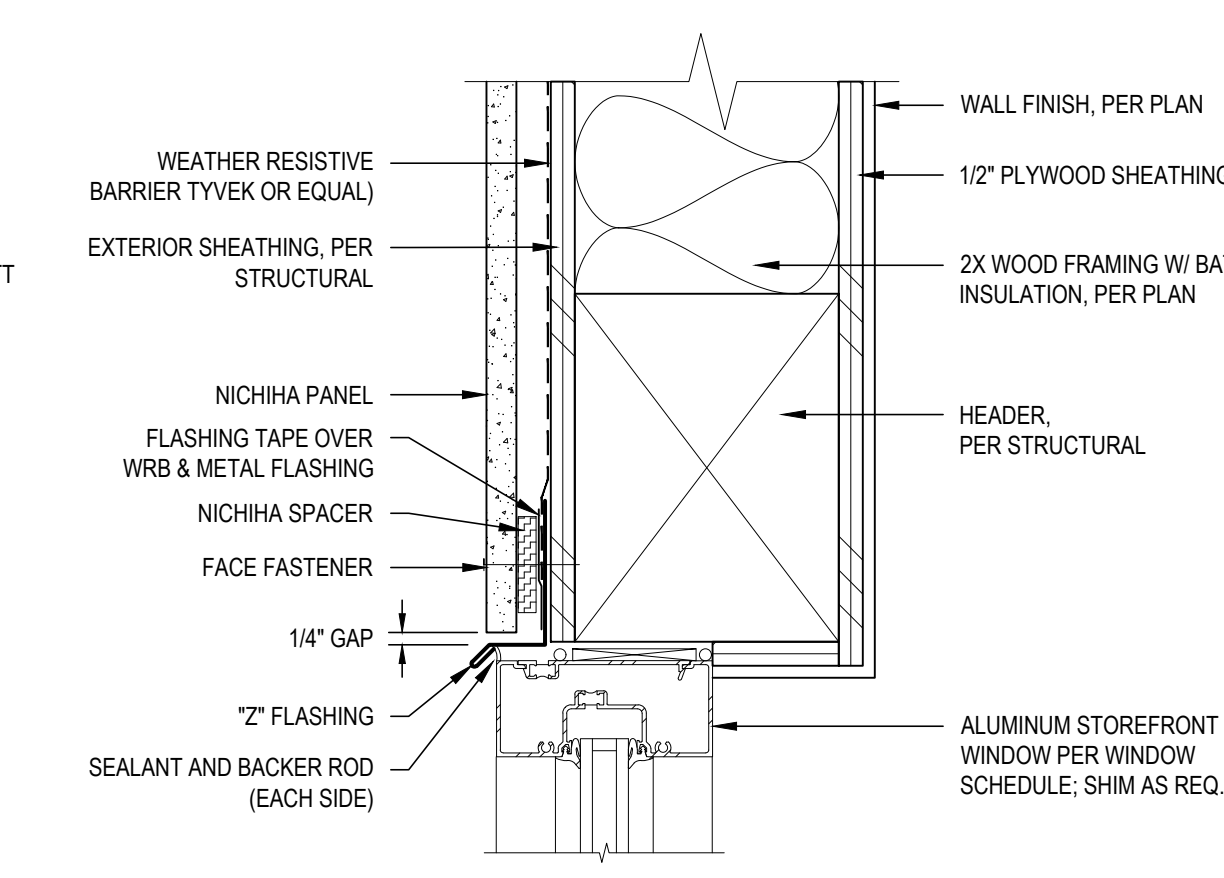
12 H.M. DOOR HEAD @ NICHIBA SIDING
SCALE: 3" = 1'-0"



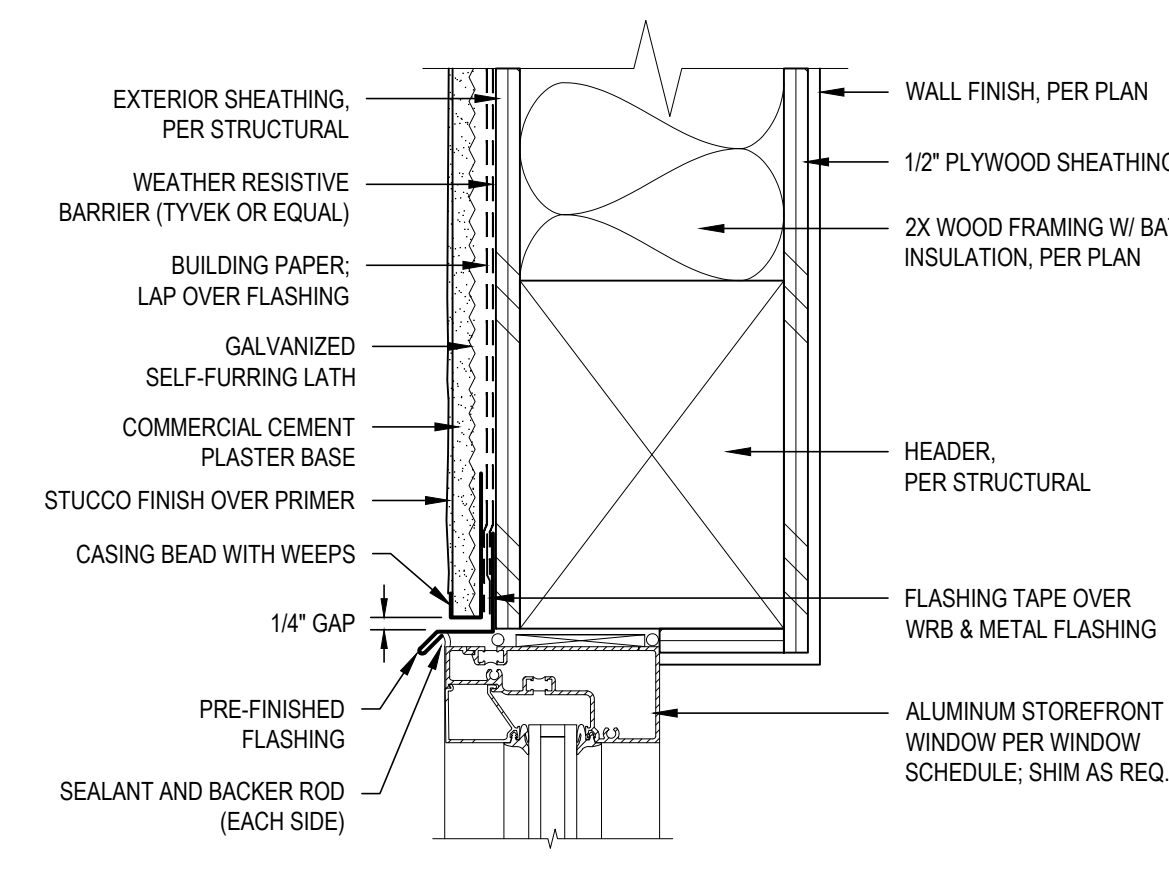
11 H.M. DOOR JAMB @ STUCCO SIDING
SCALE: 3" = 1'-0"



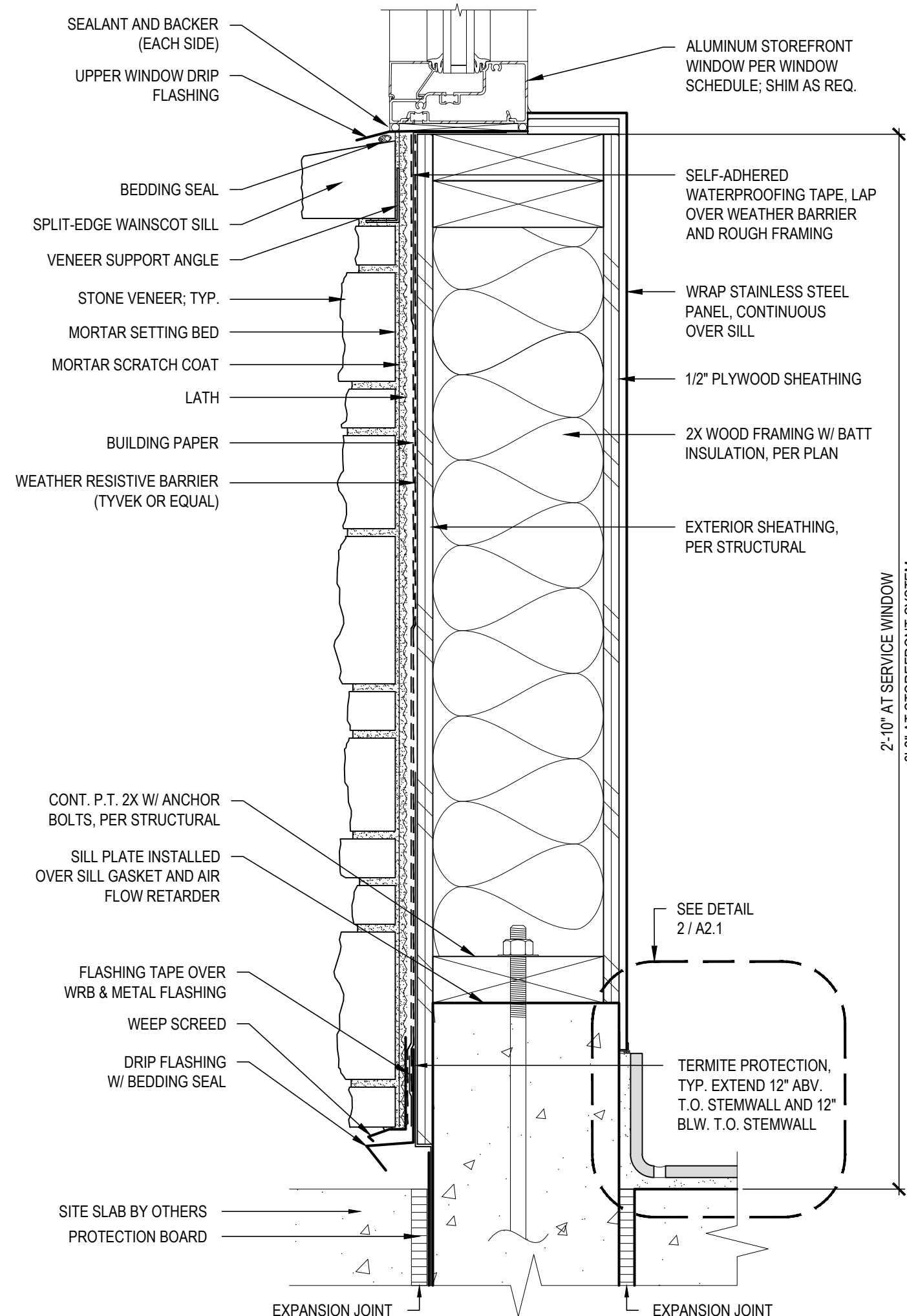
10 H.M. DOOR HEAD @ STUCCO SIDING
SCALE: 3" = 1'-0"



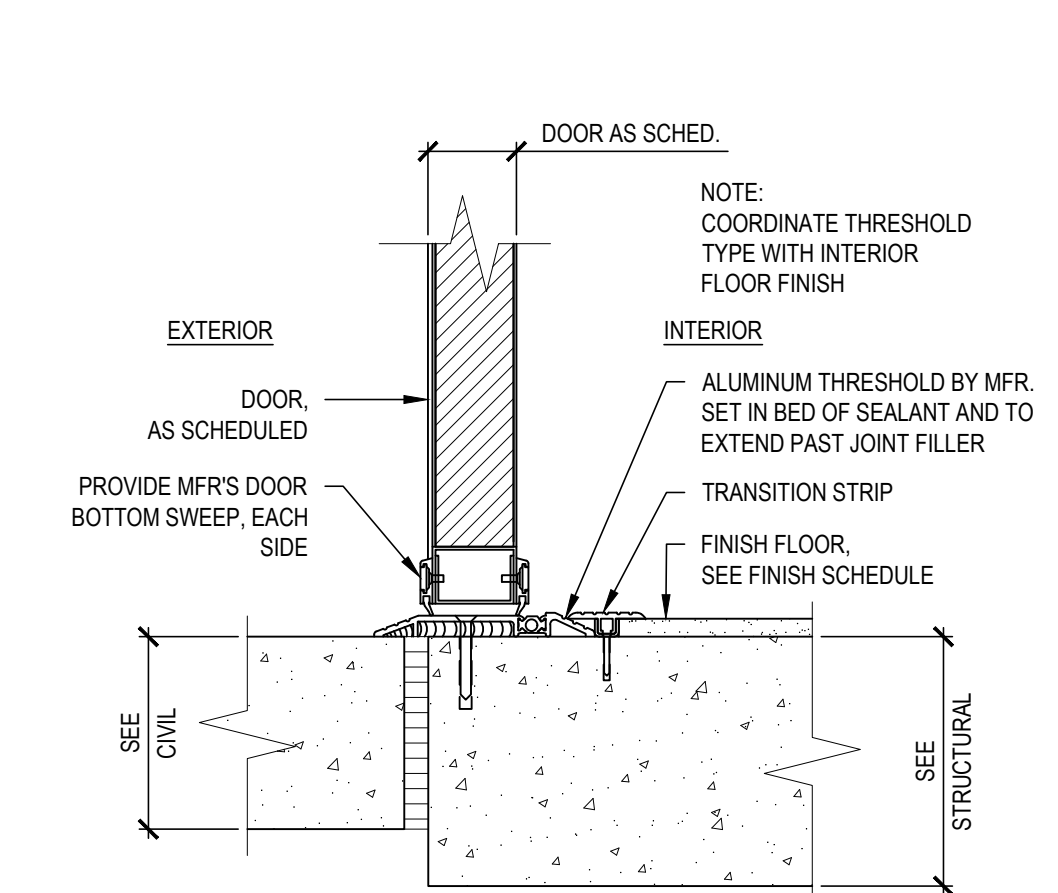
9 HEAD @ NICHIBA SIDING
SCALE: 3" = 1'-0"



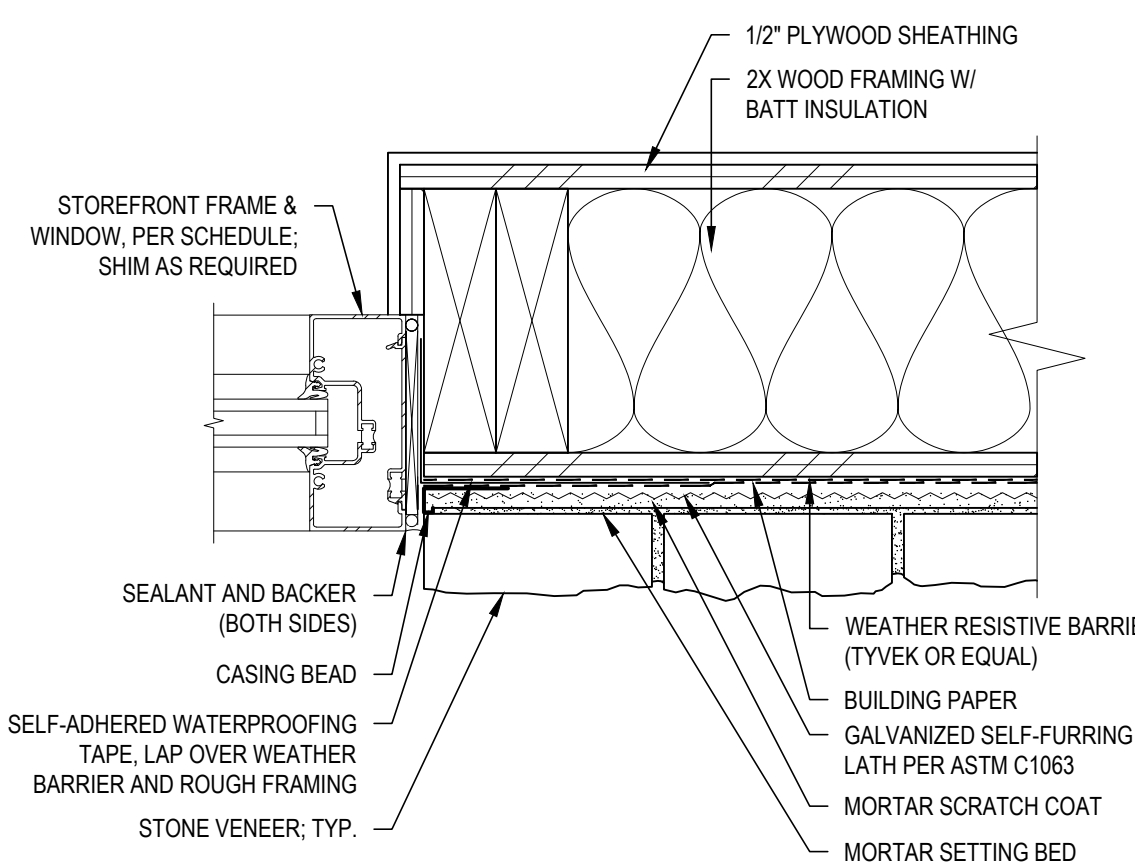
8 HEAD @ STUCCO SIDING
SCALE: 3" = 1'-0"



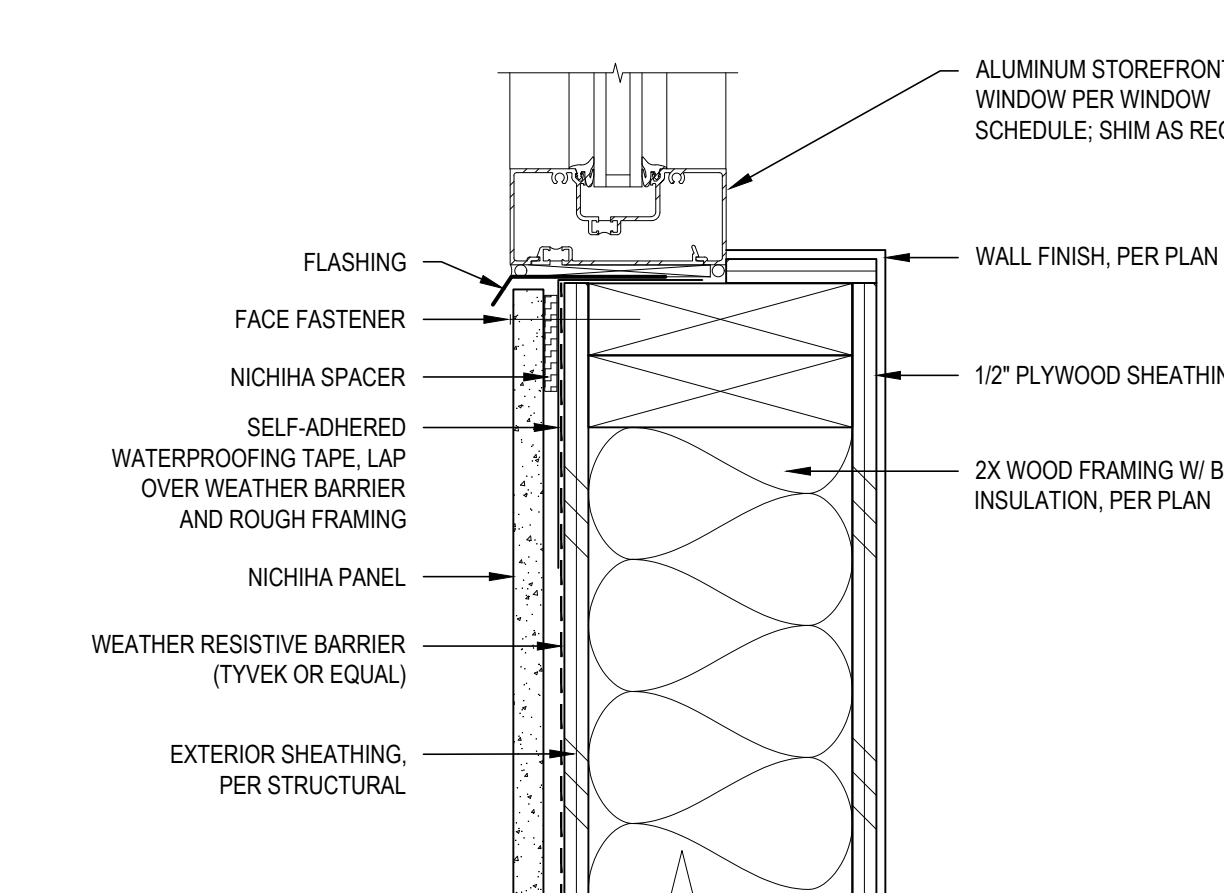
4 BASE & SILL @ STONE VENEER
SCALE: 3" = 1'-0"



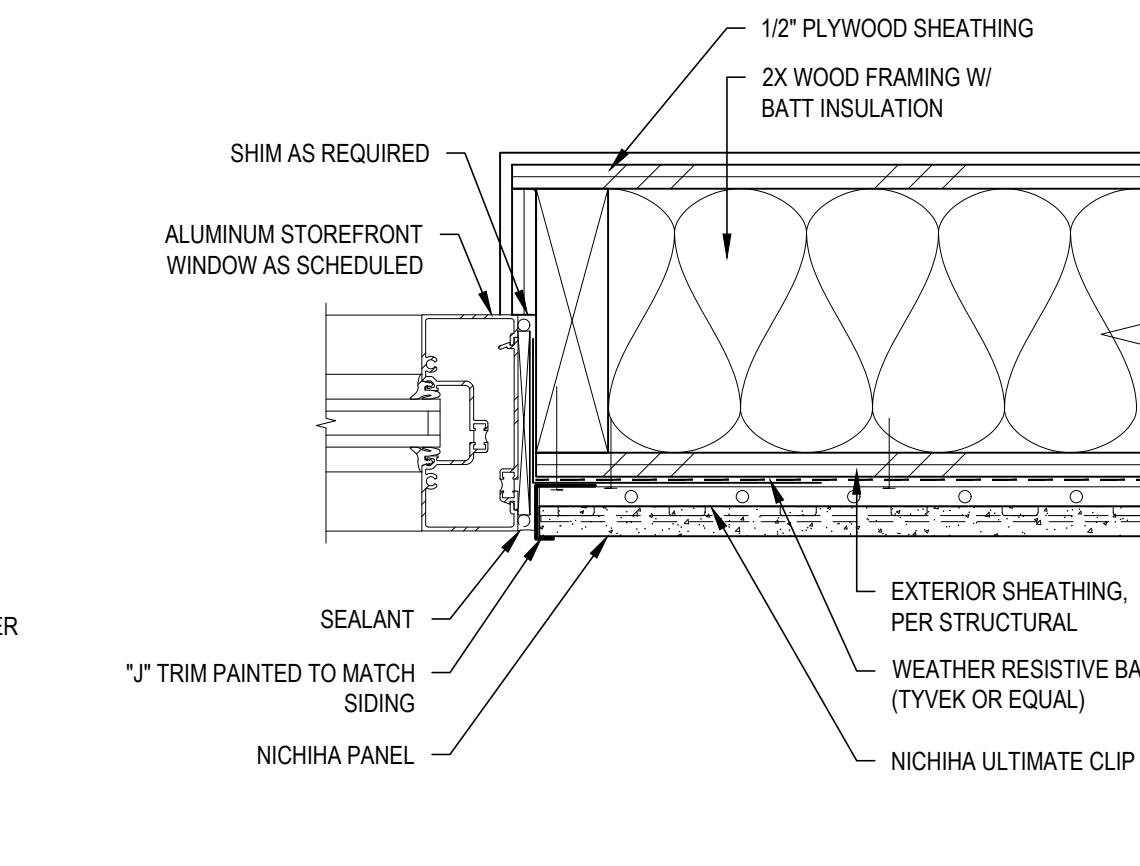
7 H.M. DOOR THRESHOLD DETAIL
SCALE: 3" = 1'-0"



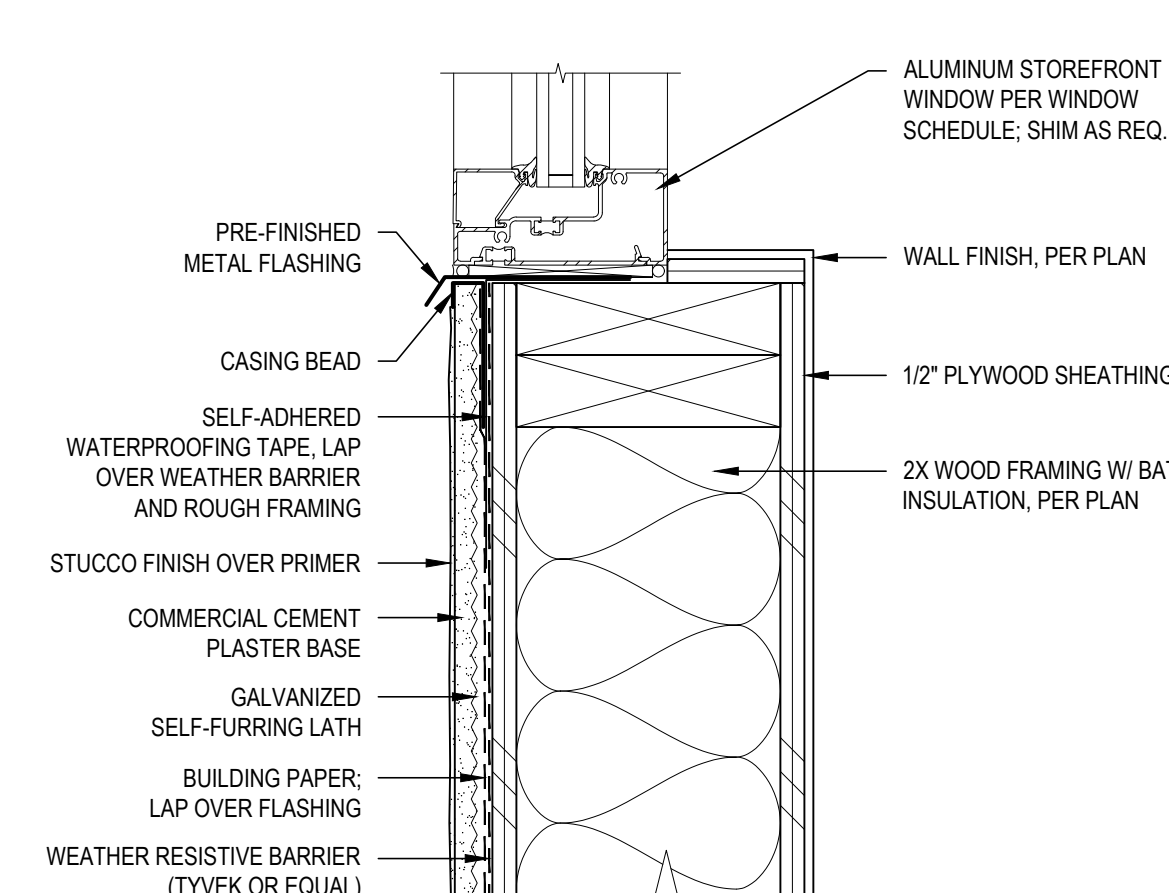
3 JAMB @ STONE VENEER
SCALE: 3" = 1'-0"



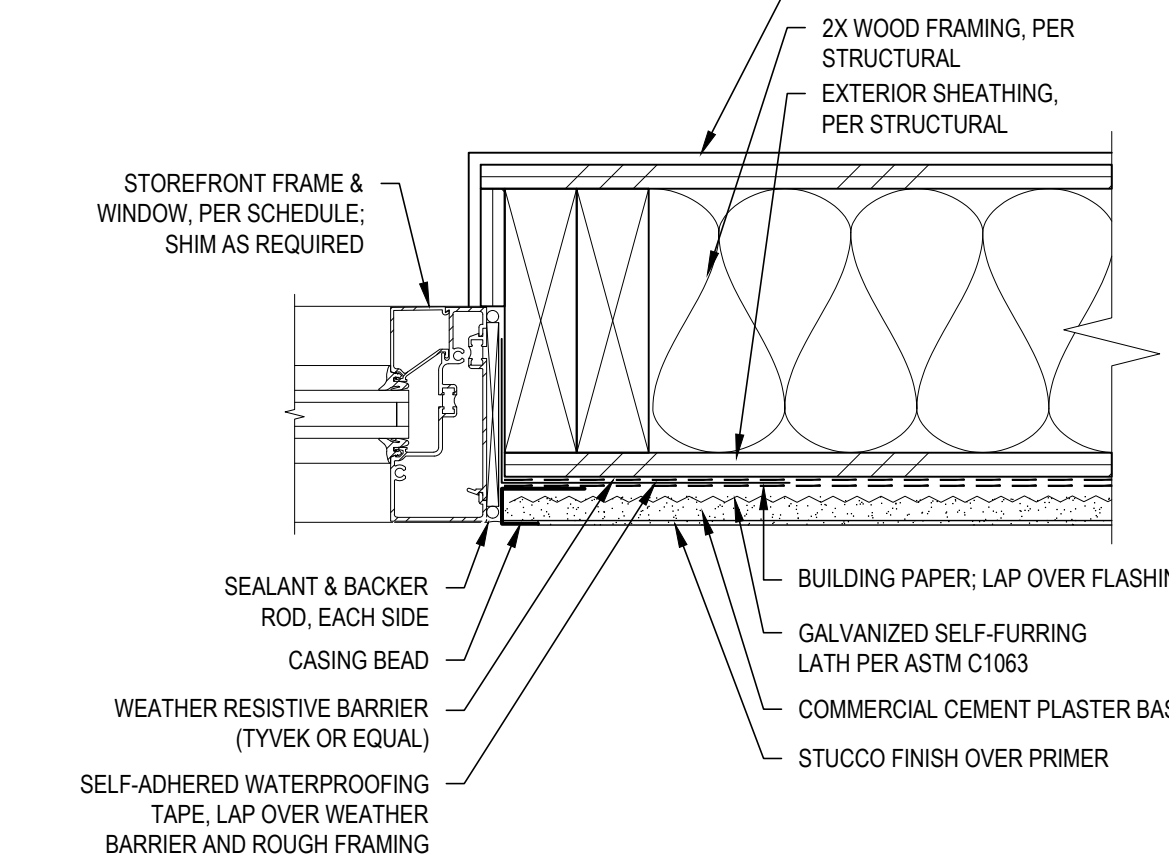
6 SILL @ NICHIBA SIDING
SCALE: 3" = 1'-0"



2 JAMB @ NICHIBA SIDING
SCALE: 3" = 1'-0"



5 SILL @ STUCCO SIDING
SCALE: 3" = 1'-0"



1 JAMB @ STUCCO SIDING
SCALE: 3" = 1'-0"



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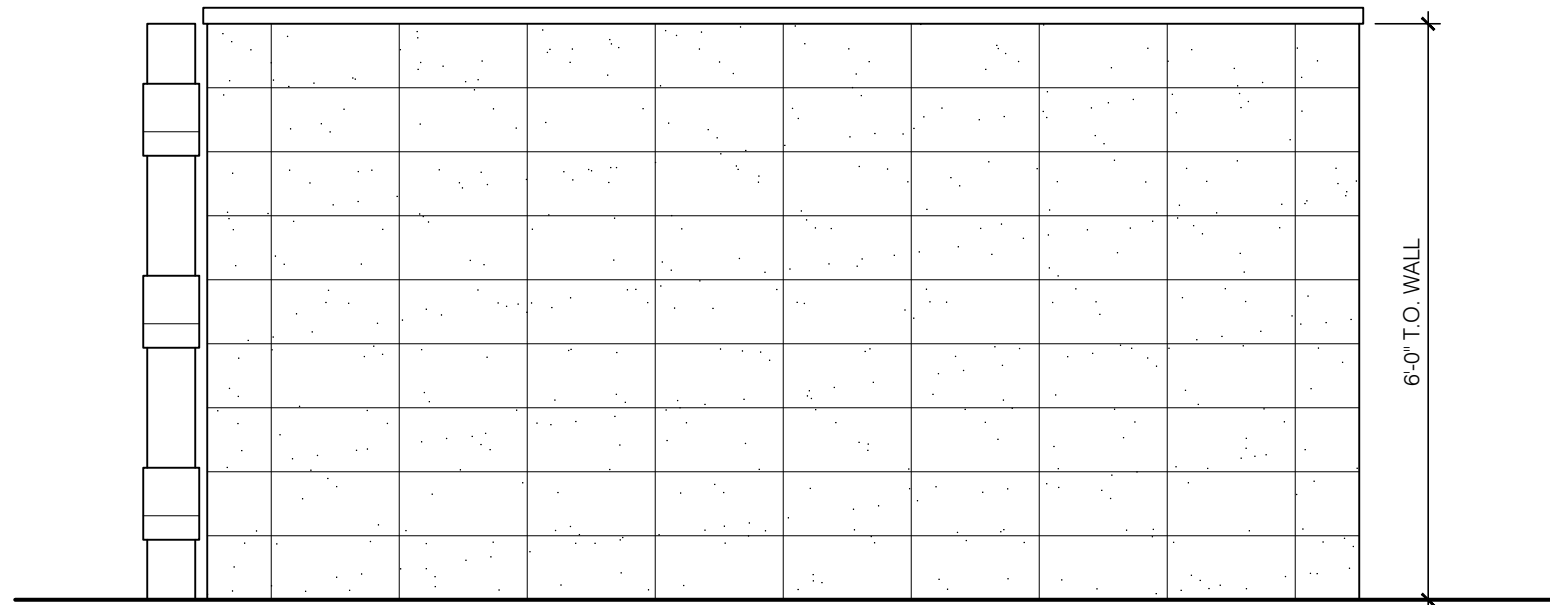
REV: DATE: DESCRIPTION:

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WINDOW AND DOOR
DETAILS

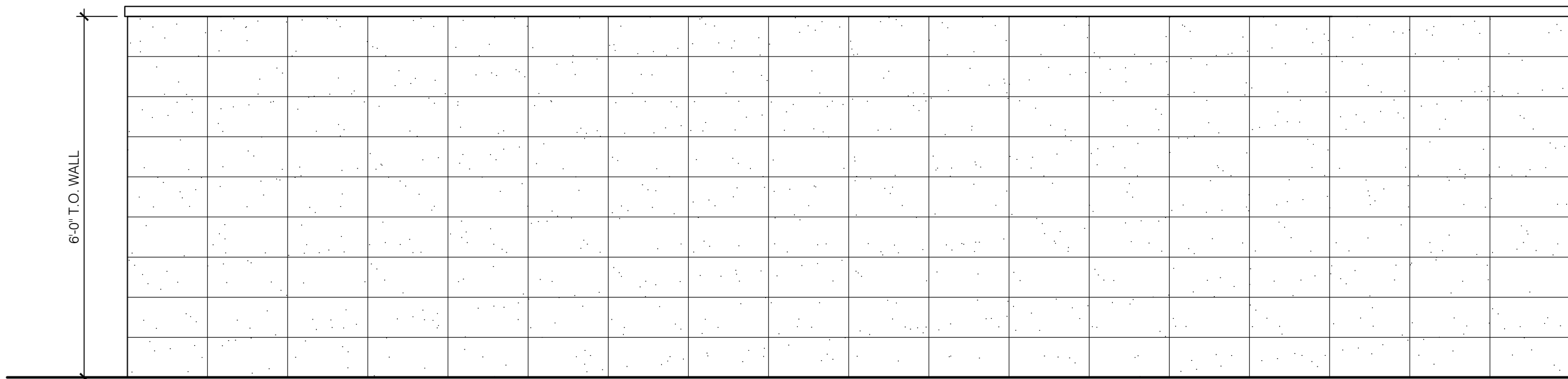
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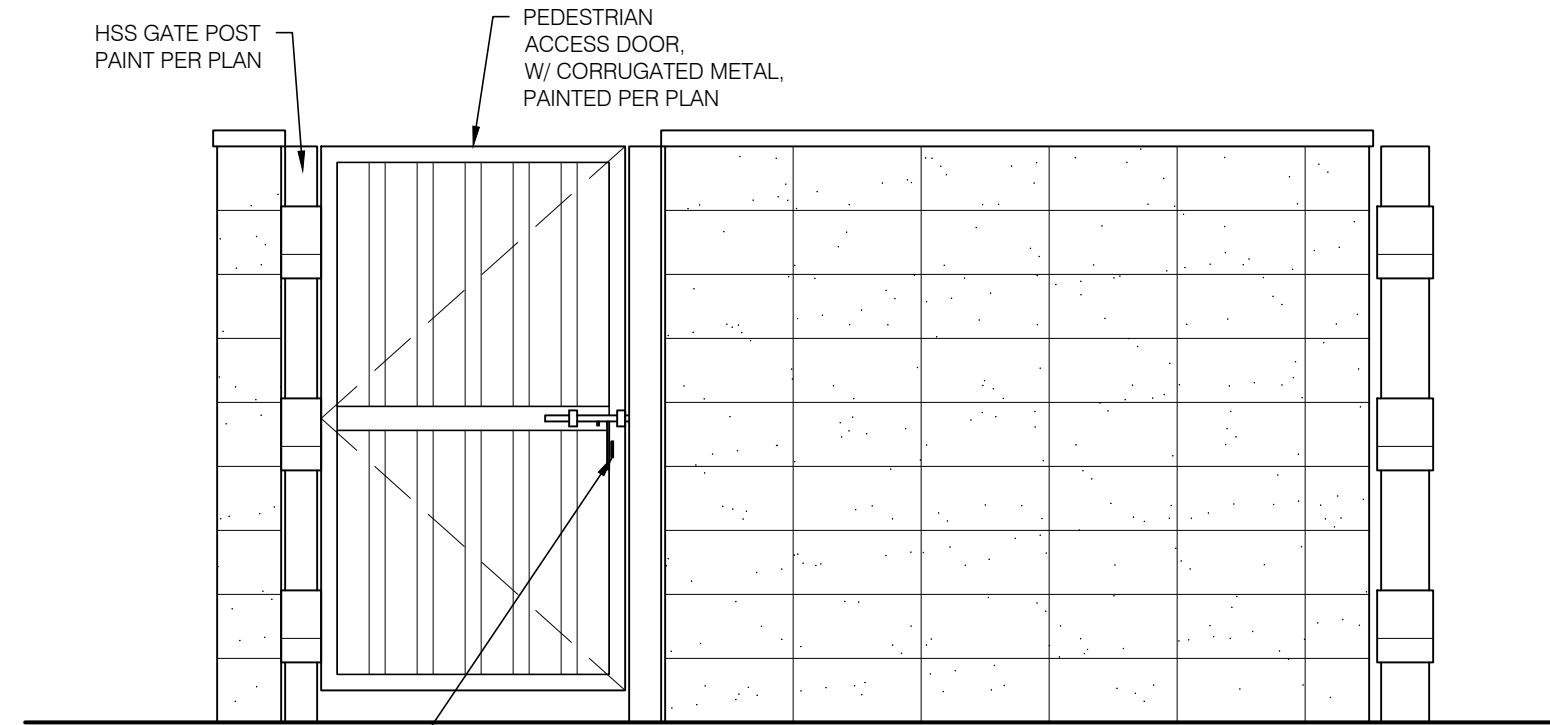
5 TRASH ENCLOSURE SIDE ELEVATION

SCALE: 1/2" = 1'-0"



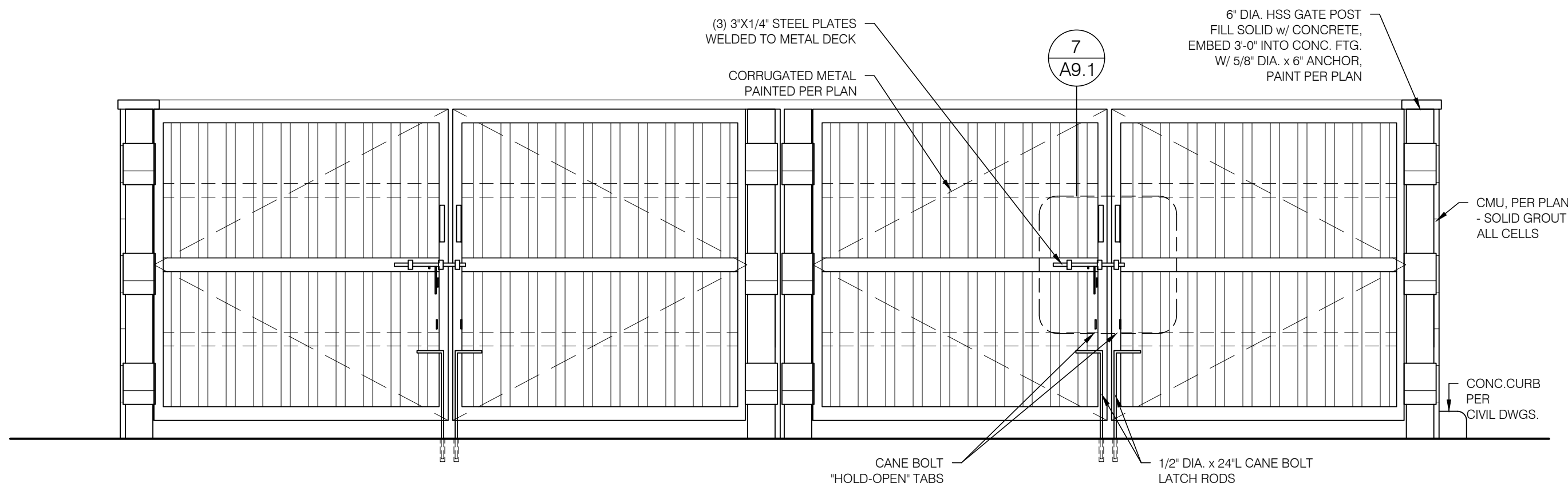
4 TRASH ENCLOSURE SIDE ELEVATION

SCALE: 1/2" = 1'-0"



3 TRASH ENCLOSURE SIDE ELEVATION

SCALE: 1/2" = 1'-0"



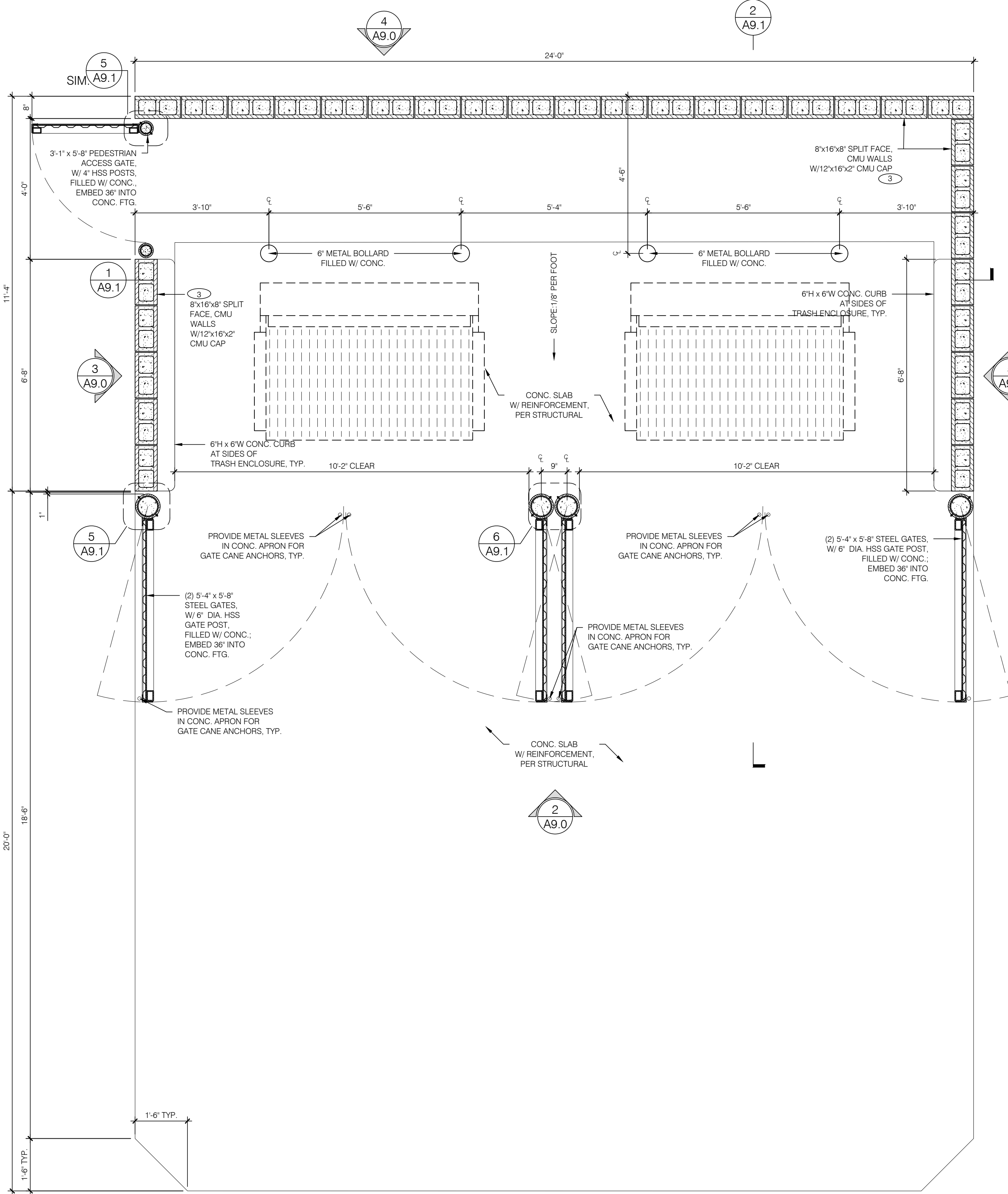
2 TRASH ENCLOSURE FRONT ELEVATION

SCALE: 1/2" = 1'-0"

TRASH ENCLOSURE MATERIALS			
ID	MATERIAL	MANUFACTURER	COLOR
3	CMU BLOCK	WILLAMETTE-GRAYSTONE	CHARCOAL
	CMU CAP	WILLAMETTE-GRAYSTONE	CHARCOAL
PT-2	PAINT	SHERWIN-WILLIAMS	-
PT-3	PAINT	SHERWIN-WILLIAMS	-

TRASH ENCLOSURE GENERAL NOTES:

- REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
- PROVIDE LOCKING MECHANISM ON GATES AND PEDESTRIAN GATE.
- PROVIDE SITE LIGHTING AT TRASH ENCLOSURE, MIN. 5 FOOT CANDLE.
- GATES TO BE BUILT WITH 3"x2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED PER PLAN.



1 TRASH ENCLOSURE PLAN

SCALE: 1/2" = 1'-0"



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SHEET NAME:

TRASH ENCLOSURE
PLAN/ ELEVATIONS

SHEET NUMBER:

A9.0

7 TRASH ENCLOSURE GATE LOCKING HANDLE

SCALE: 1-1/2" = 1'-0"

6 TRASH ENCLOSURE GATE JAMB DETAIL

SCALE: 1-1/2" = 1'-0"

5 TRASH ENCLOSURE GATE JAMB DETAIL

SCALE: 1-1/2" = 1'-0"

4 BOLLARD DETAIL

SCALE: 1/2" = 1'-0"

3 TRASH ENCLOSURE GATE JAMB DETAIL

SCALE: 1/2" = 1'-0"

2 TRASH ENCLOSURE SECTION

SCALE: 1/2" = 1'-0"

1 TRASH ENCLOSURE DETAIL

SCALE: 1/2" = 1'-0"

TRASH ENCLOSURE GENERAL NOTES:

1. REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
2. PROVIDE LOCKING MECHANISM ON GATES AND PEDESTRIAN GATE
3. PROVIDE SITE LIGHTING AT TRASH ENCLOSURE. MIN. 5 FOOT CANDLE.
4. GATES TO BE BUILT WITH 3"x2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED PER PLAN.



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TRASH ENCLOSURE DETAILS

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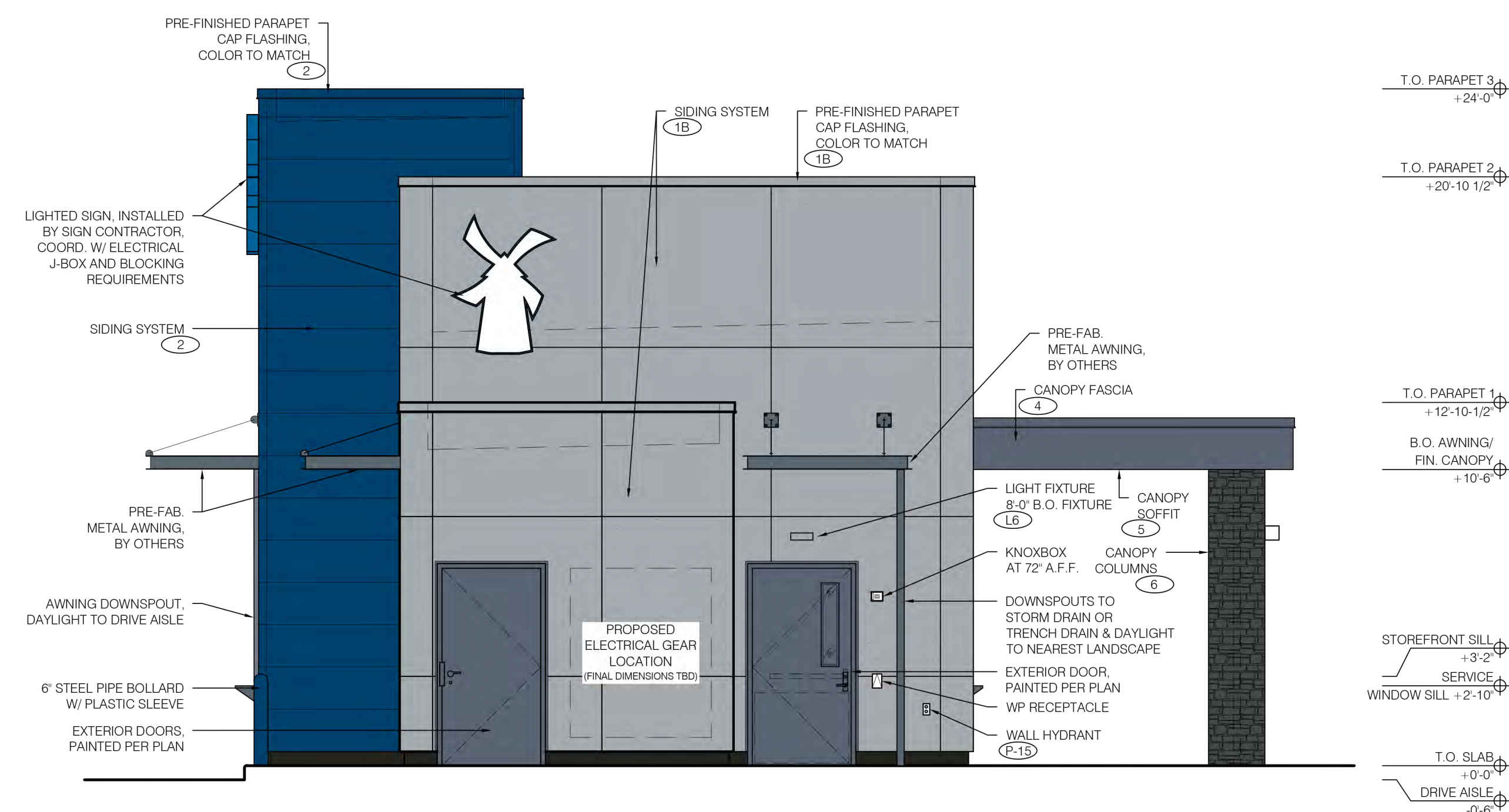
A9.1

EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH; REVEALS AS SHOWN	COLOR: BLDG DB DARK GRAY
1B	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH; REVEALS AS SHOWN	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				

SIGNAGE & GRAPHICS TO BE PERMITTED SEPARATELY.

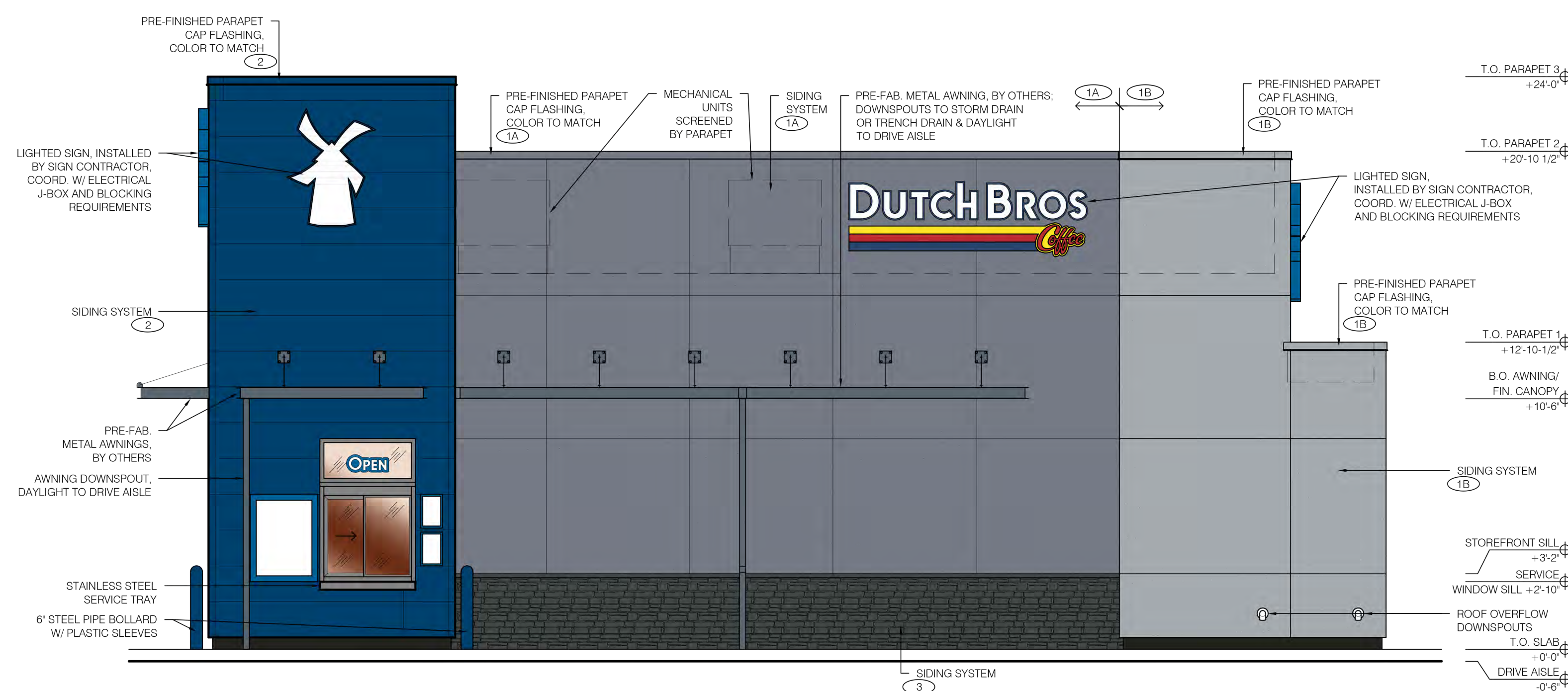


4 LEFT ELEVATION - DRIVE-THRU WINDOW

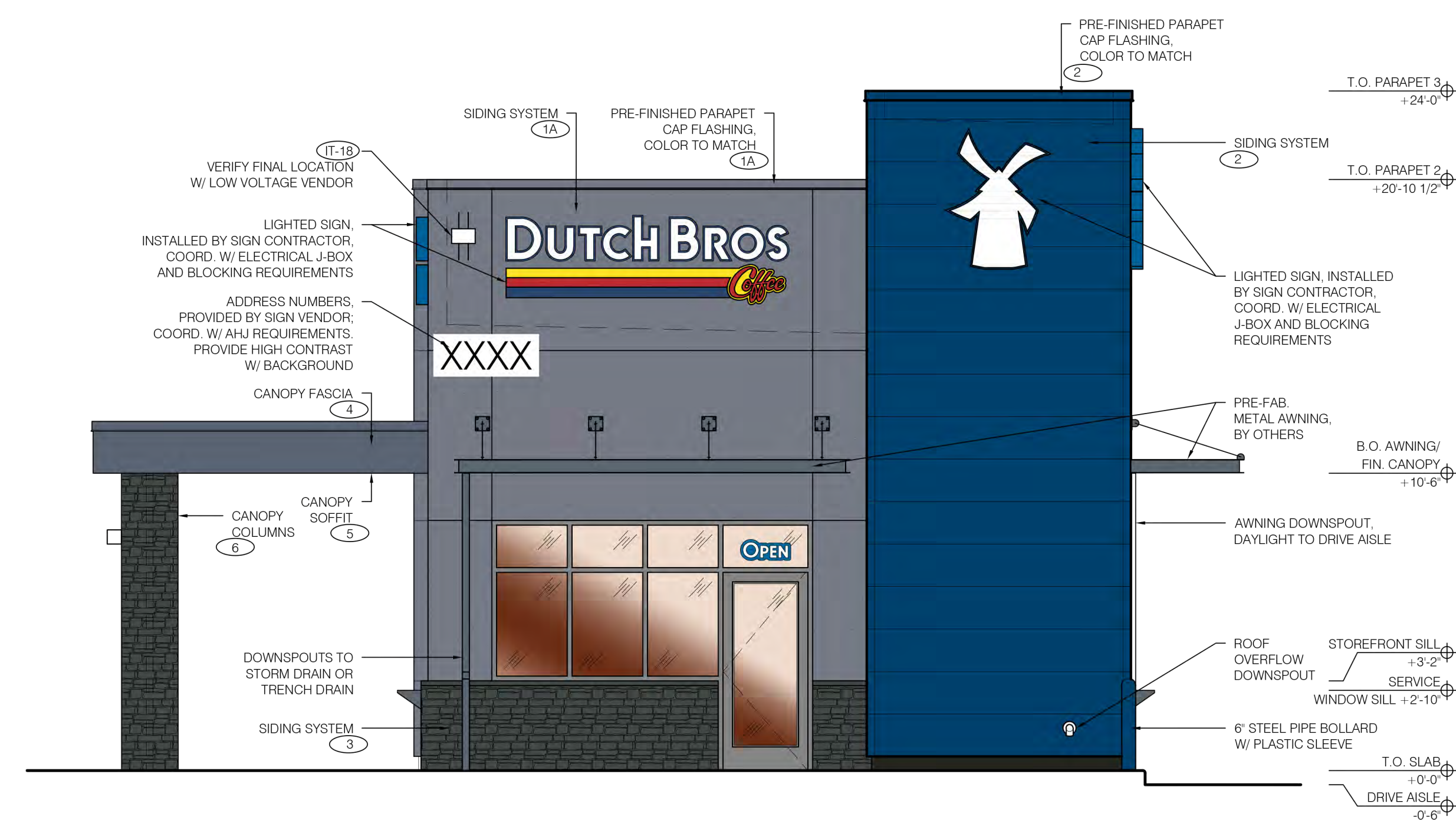


3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - DRIVE-THRU WINDOW



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"